

# Hillingdon Planning Committee

Tuesday 5th November 2024



**HILLINGDON**  
LONDON

[www.hillingdon.gov.uk](http://www.hillingdon.gov.uk)

## **Report of the Head of Development Management and Building Control**

**Address:** 140 LINDEN AVENUE RUISLIP

**Development:** Erection of 2no. semi-detached dwellings including habitable accommodation within the roof space and one basement with associated parking and amenity space, following the demolition of existing bungalow.

**LBH Ref Nos:** 78323/APP/2024/968

**Location Plan**

Site Address: 140, Linden Avenue, Ruistlip, HA4 8UB

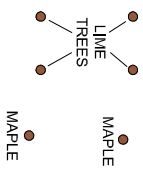
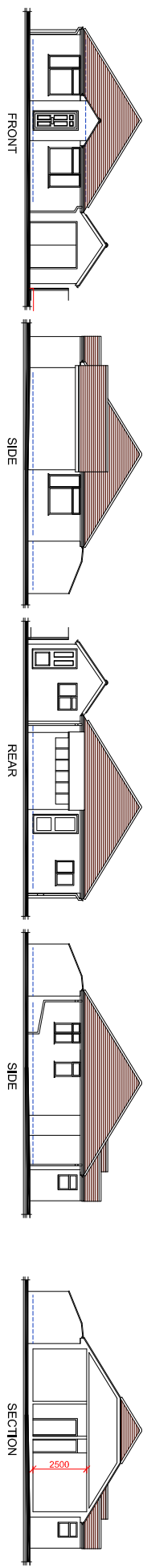
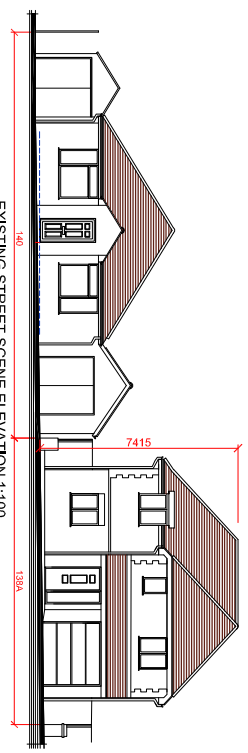
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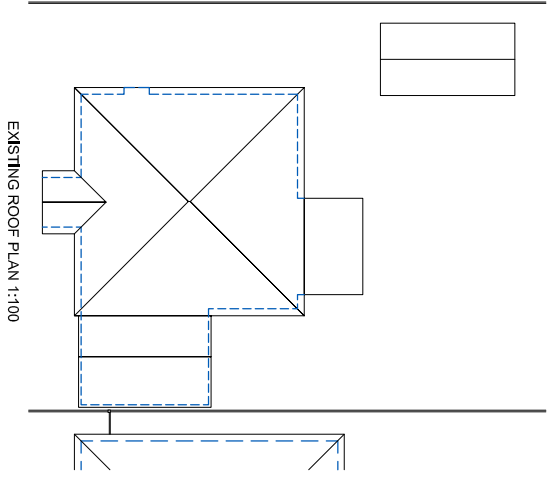
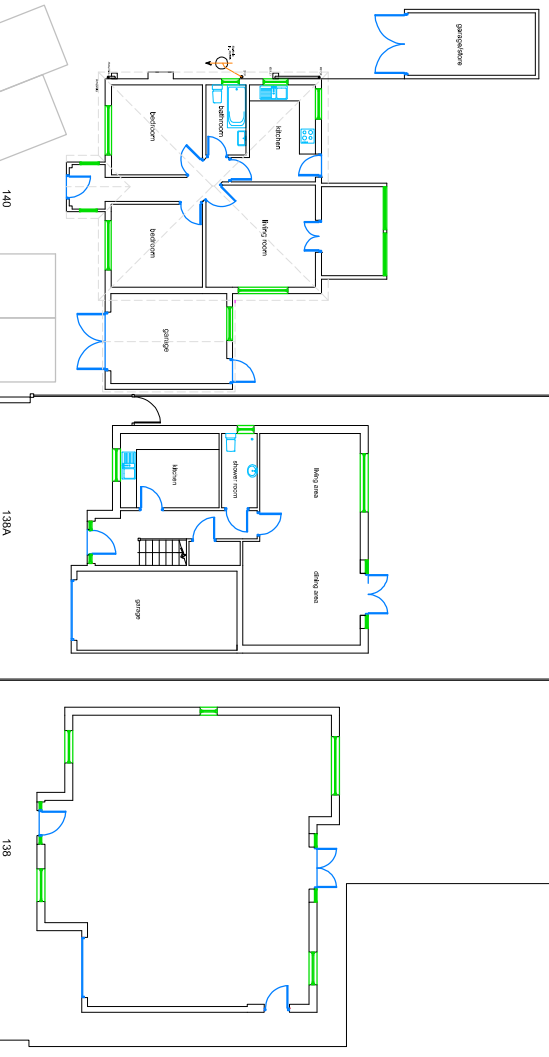


Planning Portal Reference: PP-12964181v1





7%<sub>0</sub> BEECH TREES



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0	5	10	15	20	25	1:500
0	10	20	30	40	50	1:1000
0	20	40	60	80	100	1:2500

**Simon Harris and Associates**  
 Chartered Surveyors & Architects  
 12 Fuller Road  
 Colchester  
 Essex CO1 1JH  
 Tel: 0206 8772 8990  
 Fax: 0206 8772 8996  
 Email: enquiries@simonharris.co.uk

**Client**  
 Mr. B. Smith  
 New Houses Following Demolition at  
 140 LINDEN AVENUE  
 RISKIP  
 HA4 9UB

**Project Title**  
 EXISTING SITE AND FLOOR PLAN  
 ELEVATIONS & SECTION

**Scale**  
 1:100  
 Paper Size  
 A1

**Date**  
 MAR 2024  
 Drawn By  
 NRH

**Job No.** 2024030  
**Sheet** 101 of 101

EXISTING GROUND FLOOR & SITE PLAN 1:100

EXISTING ROOF PLAN 1:100

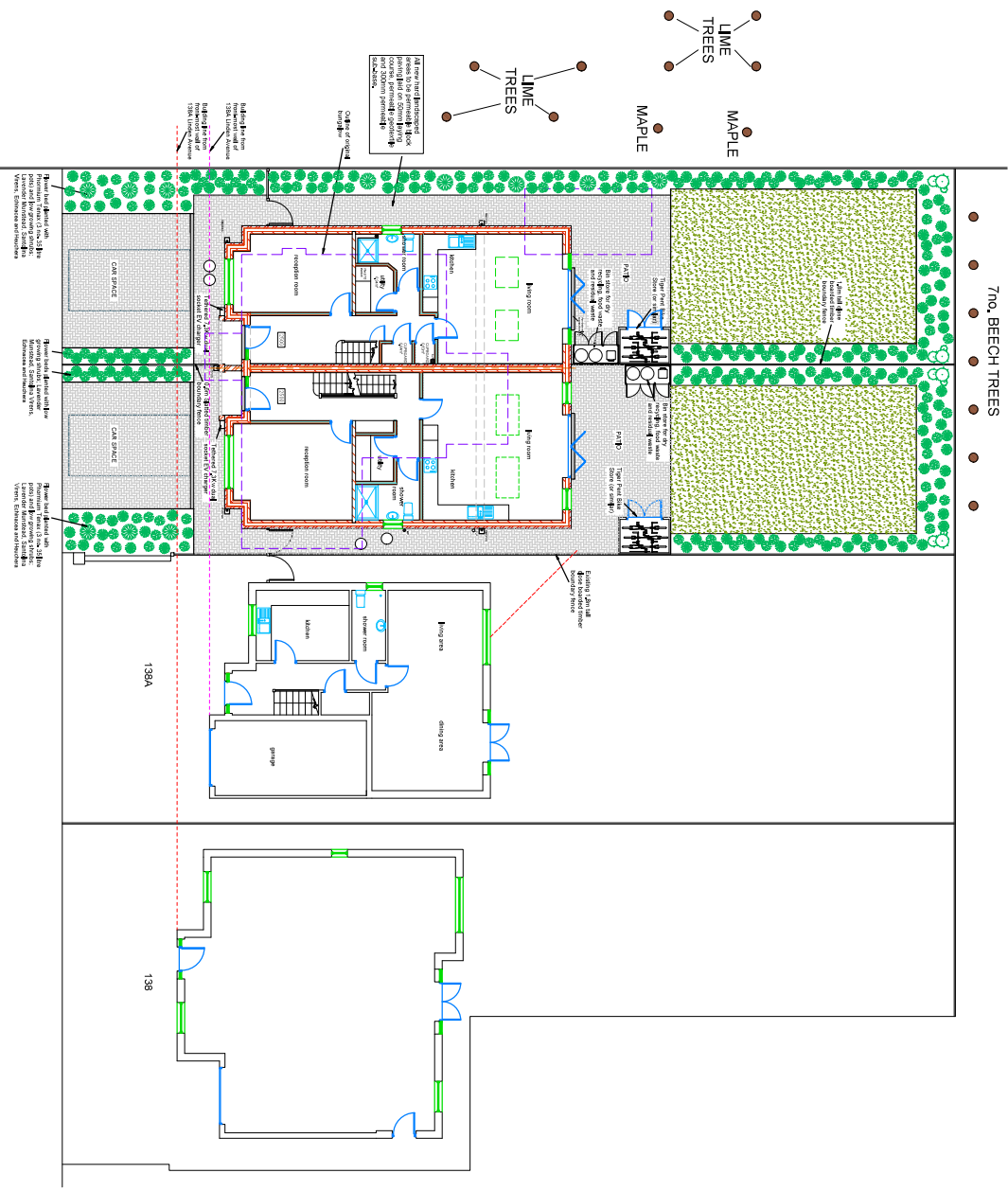
OPPOSITE STREET SCENE

EXISTING STREET SCENE ELEVATION 1:100

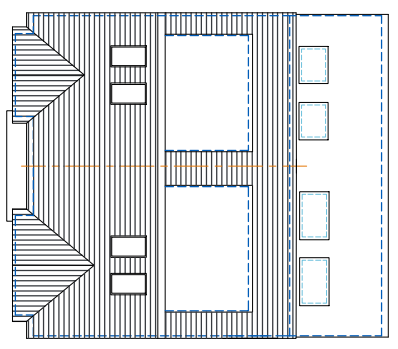
EXISTING ELEVATIONS 1:100

**Notes:**  
 1. All elevations are based on the ground level shown on the site plan.  
 2. All dimensions are in millimeters unless otherwise stated.





PROPOSED GROUND FLOOR & SITE PLAN 1:100



PROPOSED ROOF PLAN 1:100

© Copyright

1:20  
1:50  
1:100  
1:150

0 20m 40m 60m

Simon Hinds and Associates  
Chartered Surveyors & Architects  
12 South Road  
Maidstone ME16 5EN  
Tel: 020 8575 5555  
Fax: 020 8575 5556  
Email: enquiries@simonhinds.co.uk

Client: Mr B. Bevis

Job Title: New Houses Following Demolition at 140 LINDEN AVENUE, RYE, BN4 9JG

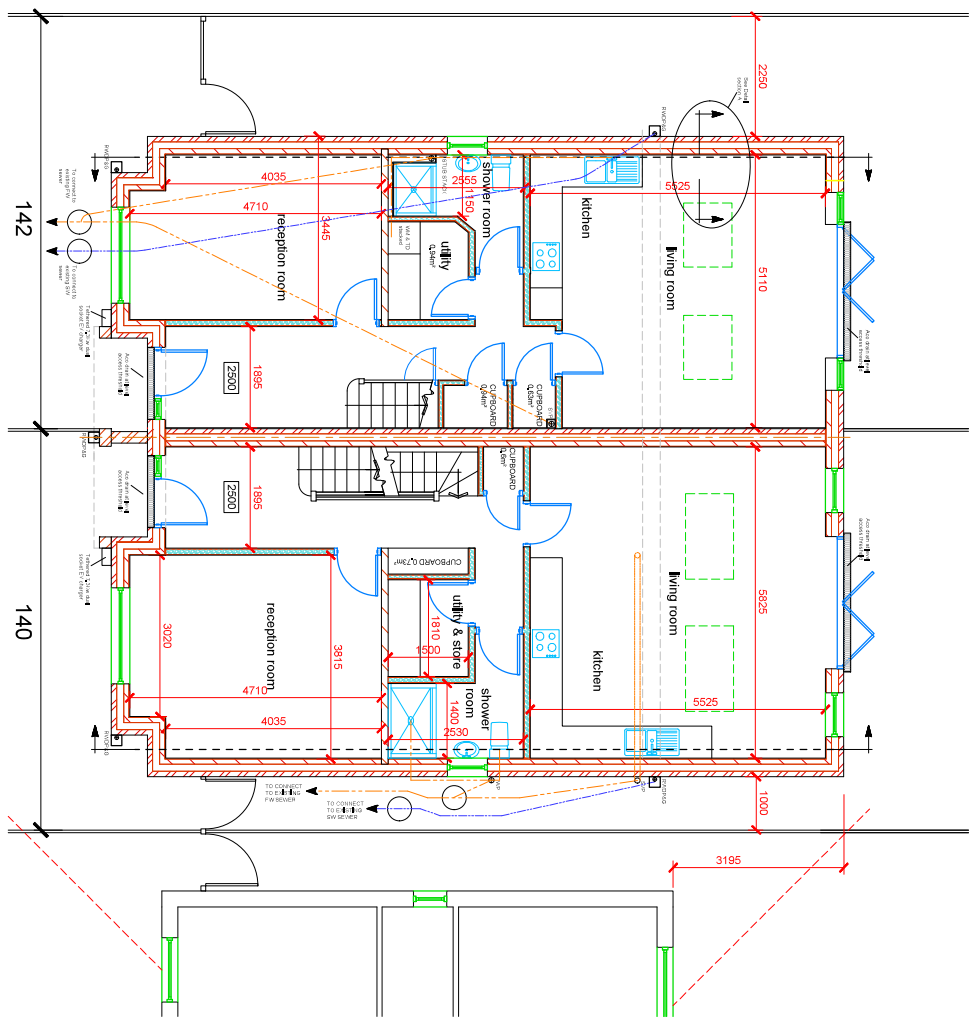
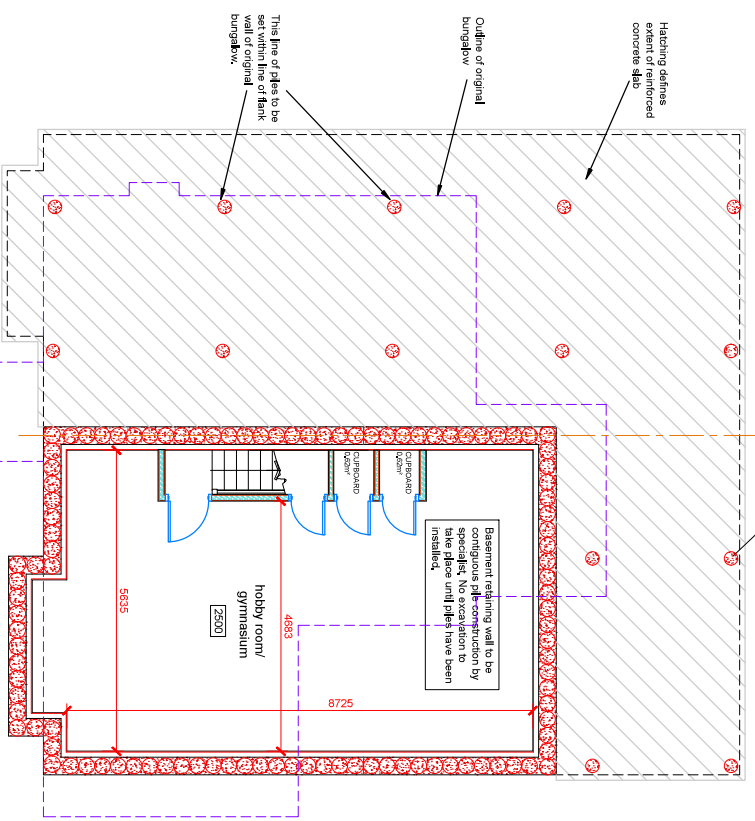
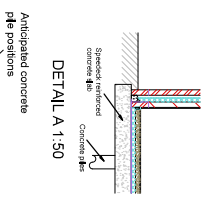
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Date: MAR 2024  
Drawn By: NRH

Drawing Title: PROPOSED SITE AND ROOF PLANS

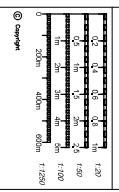
Sheet No: 2024030  
102  
B

All dimensions must be checked on site and linked from the drawing

Foundations to both houses (excluding the basement retaining walls in house nos. 140) to be an engineered reinforced concrete slab on pile foundations (see detail).



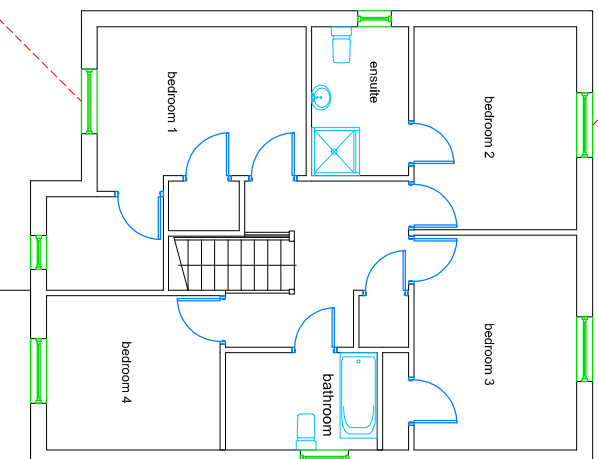
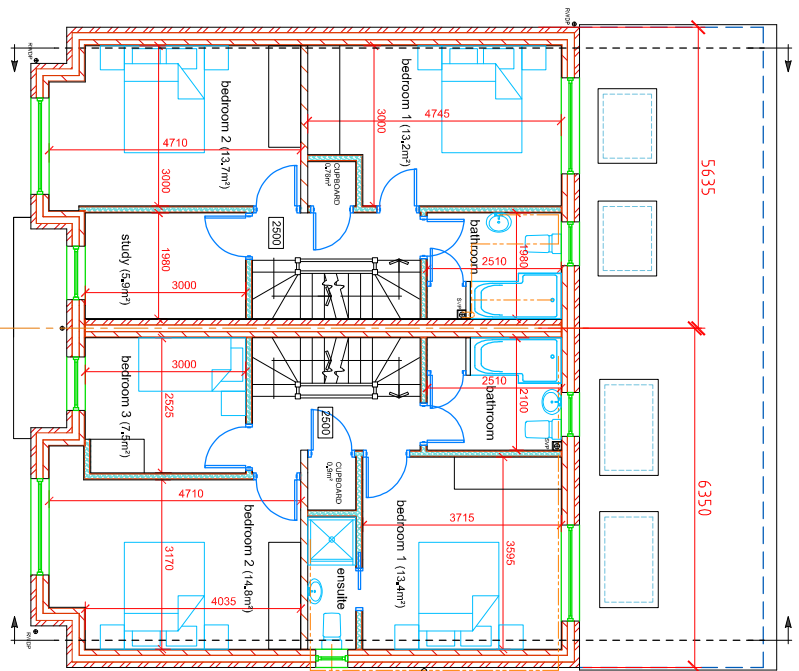
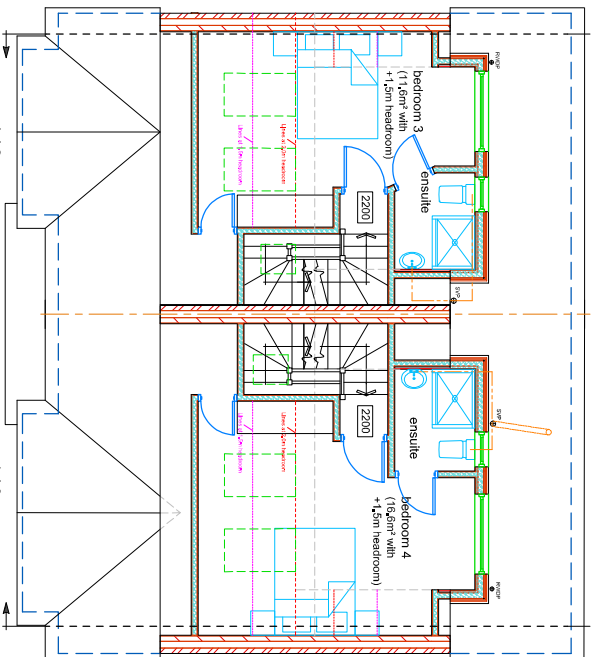
Notes:  
1. All dimensions shall be checked on site and any issues reported to the client.  
2. All dimensions shall be checked on site and any issues reported to the client.



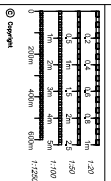
**Simon Harms and Associates**  
 Chartered Surveyors & Architects  
 12, Balfour Road  
 Millers Green, Leeds LS16 5PL  
 Tel: 020 8275 3005  
 Fax: 020 8275 3006  
 Email: enquiries@simonharms.co.uk

Client: **M. R. Barista**  
 Job Title: **New Houses Following Demolition at 140, 142BEN A VENUE, RLESLIP, HAV 80B**

Drawing Title: <b>PROPOSED BASEMENT AND GROUND FLOOR PLANS</b>	
Scale:	Paper Size:
1:100	A1
Date:	Drawn By:
MAR 2024	NRH
2024030	103
	C



Notes:  
1. All dimensions are to be checked on site and not assumed.  
2. All dimensions are to be checked on site and not assumed.



Client:  
Mr R. Berthia

Job Title:  
New Houses Following Demolition at  
140 Linden Avenue  
RUSSELL  
HAA SUB

Scale:  
1:100

Date:  
MAR 2024

Drawn By:  
NHH

Page No:  
104

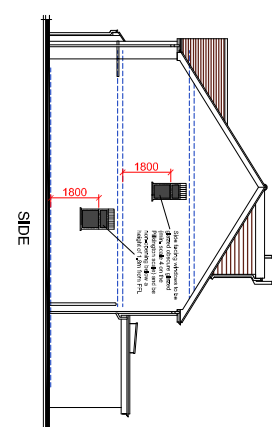
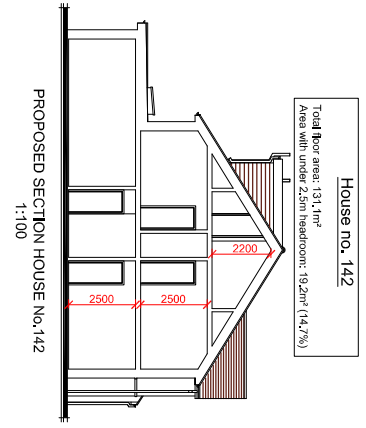
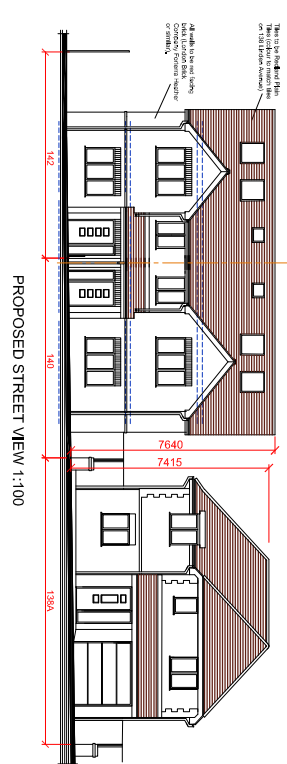
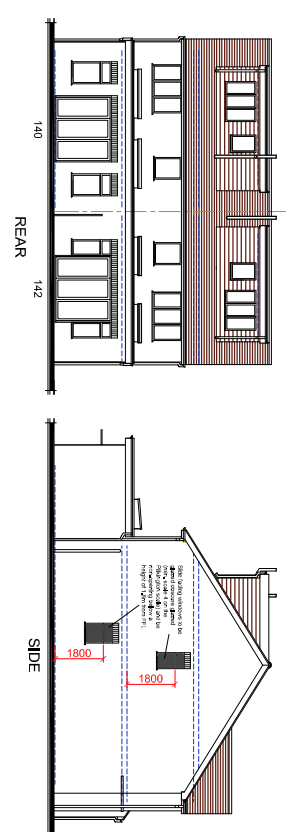
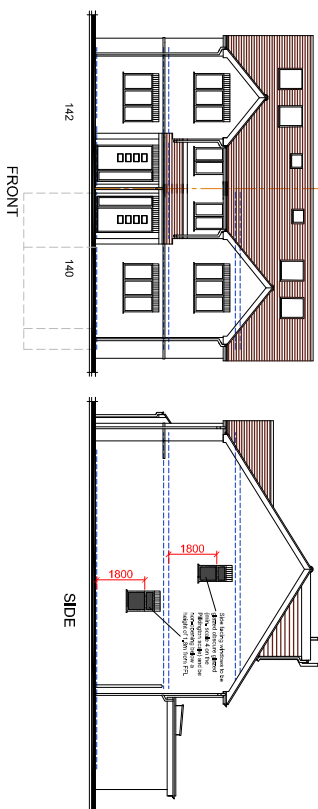
Page Size:  
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Page No:  
104

Page Size:  
C

Simon Shields and Associates  
Chartered Surveyors & Architects  
12 Raffle Road  
Glenelg VIC 3187  
Tel: 0853 8771 999  
Fax: 0853 8771 999  
email: enquiries@simonshieldsandassociates.com.au

Job No.	104
Scale	1:100
Date	MAR 2024
Drawn By	NHH
Page No.	104
Page Size	C

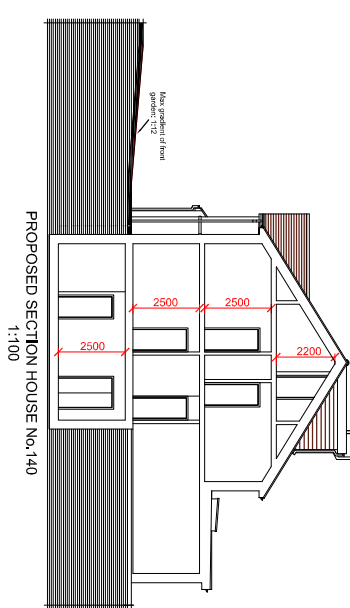


PROPOSED ELEVATIONS 1:100

PROPOSED STREET VIEW 1:100

House no. 142  
Total floor area: 131,1m²  
Area with upper 2.5m headroom: 19,2m² (14,7%)

House no. 140  
Total floor area: 200,4m²  
Area with upper 2.5m headroom: 21,6m² (10,8%)



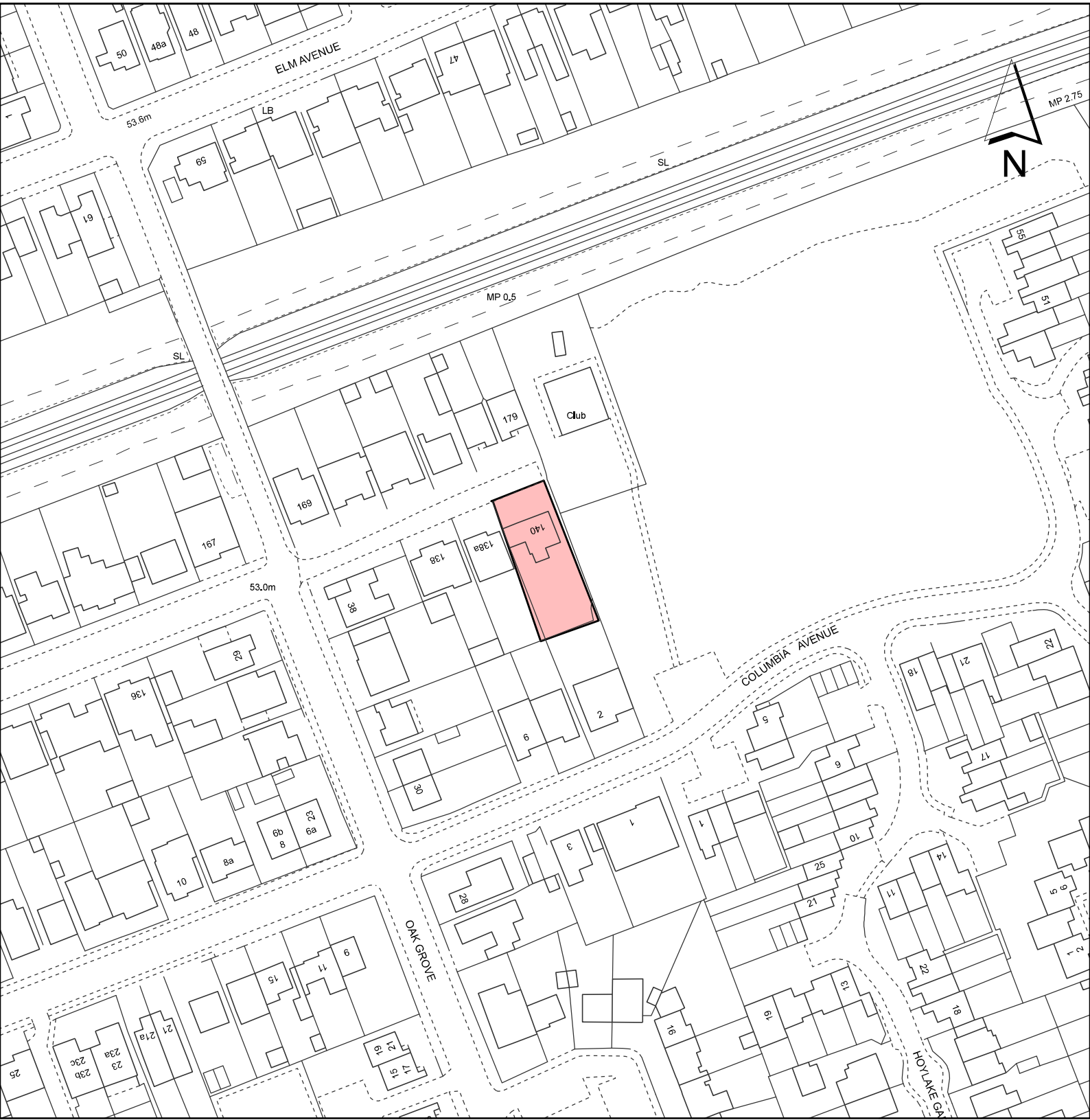
PROPOSED SECTION HOUSE No.140  
1:100



Notes: 1. All heights are to be measured on the top of the ground level unless stated.

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0	10	20	30	40	50	60	70	80	90	100	110	120
0	10	20	30	40	50	60	70	80	90	100	110	120

**Simon Harris and Associates**  
Chartered Surveyors & Architects  
12 Fuller Road  
Coventry  
CV3 3EF  
Tel: 024 7621 8896  
Fax: 024 7621 8868  
email: enquiries@simonharris.co.uk

Client:	Mr. B. Brinkley
Job Title:	New Houses Following Demolition at 140 Linden Avenue Ruslip HA4 9UB
Drawn By:	MRH
Checked By:	MRH
Scale:	As per sheet
Project No.:	2024030
Job No.:	105
Sheet No.:	C



<b>KEY :</b>  <b>Site Boundary</b>	<b>ADDRESS :</b> <p style="text-align: center;">140 Linden Avenue Ruislip</p>		<p style="text-align: center;"><b>LONDON BOROUGH OF HILLINGDON</b></p> <p style="text-align: center;"><b>RESIDENTS SERVICES PLANNING SECTION</b></p> <p style="text-align: center;"><b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b></p>
<b>DISCLAIMER :</b> <p>For identification purposes only  This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  Unless the Act provides a relevant exception to copyright</p> <p>© Crown copyright and database rights 2024 Ordnance Survey  AC0000810857</p>	<b>PLANNING APPLICATION REFERENCE :</b> <p style="text-align: center;">78323/APP/2024/968</p>	<b>SCALE :</b> <p style="text-align: center;">1:1,250</p>	
<b>PLANNING COMMITTEE :</b>		<b>DATE :</b> <p style="text-align: center;">05/11/2024</p>	

## **Report of the Head of Development Management and Building Control**

**Address:**

3 THE SQUARE FURZEGROUND WAY STOCKLEY PARK

**Development:**

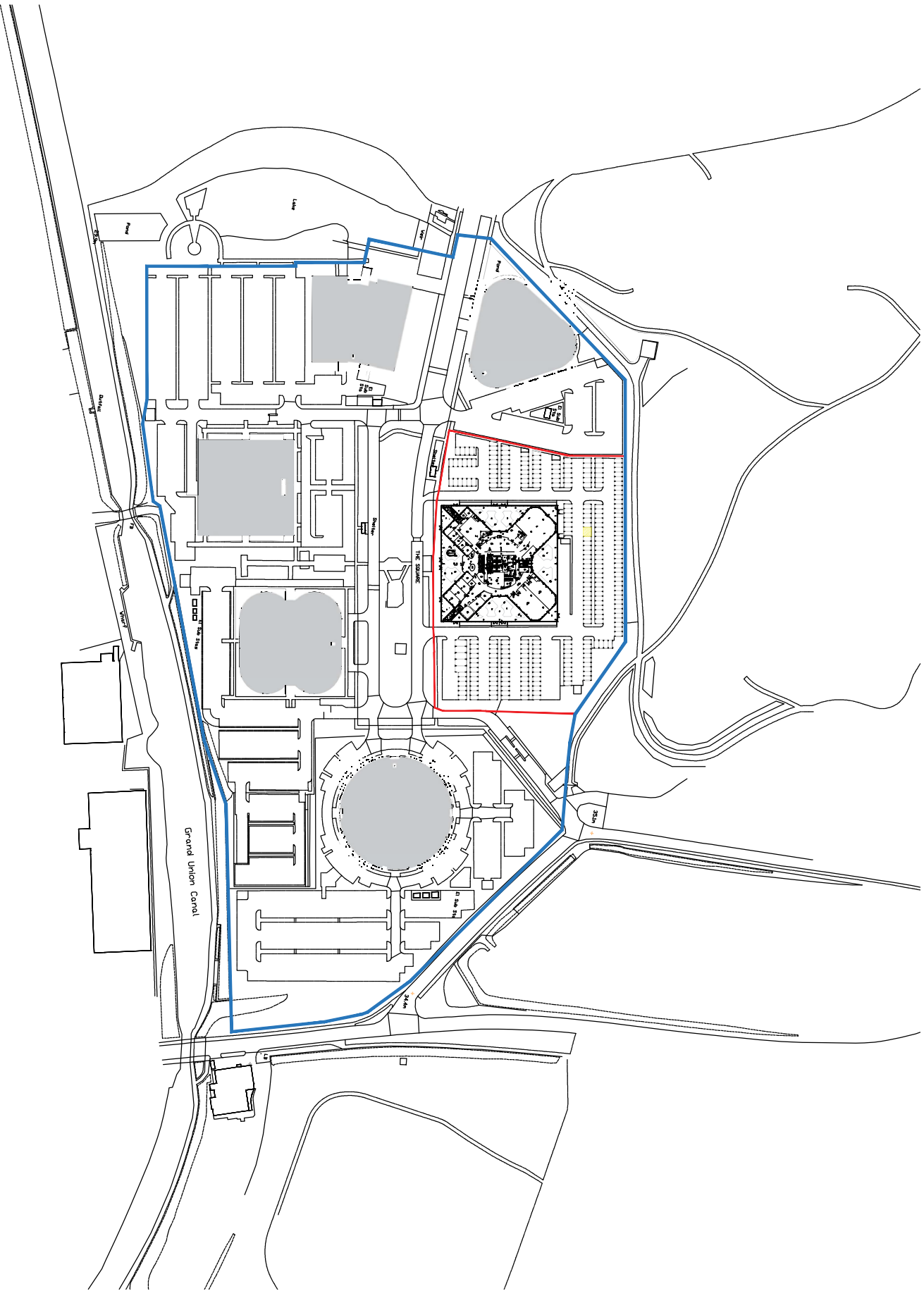
Change of use of existing office building (Use Class E) to a post-operative care facility (Use Class C2), including external works to the building, landscaping, parking, and all associated works.

**LBH Ref Nos:**

57328/APP/2024/345

02 All information shown is subject to survey, and is not intended for use for any other purpose. Verification and should not be used for construction purposes. Measure all dimensions on site for verification of data.

- Stockley Park Phase
- 02 Boundary Line (61,600sqm/22.5 acres)
- Site Boundary Line (13,700sqm/3.38 acres)



02	Show 02 Site Boundary	06/03/2014	JH	JA
01	Final Issue	03/04/2013	JH	JA
Rev:	Notes:	Date:	Drawn:	Checked:



**hale**  
ARCHITECTURE

225 Tottenham Street, London, SE1 1SP  
Project: 3 The Square, Stockley Park

Drawing Title:  
Existing General Arrangement  
Site Location Plan

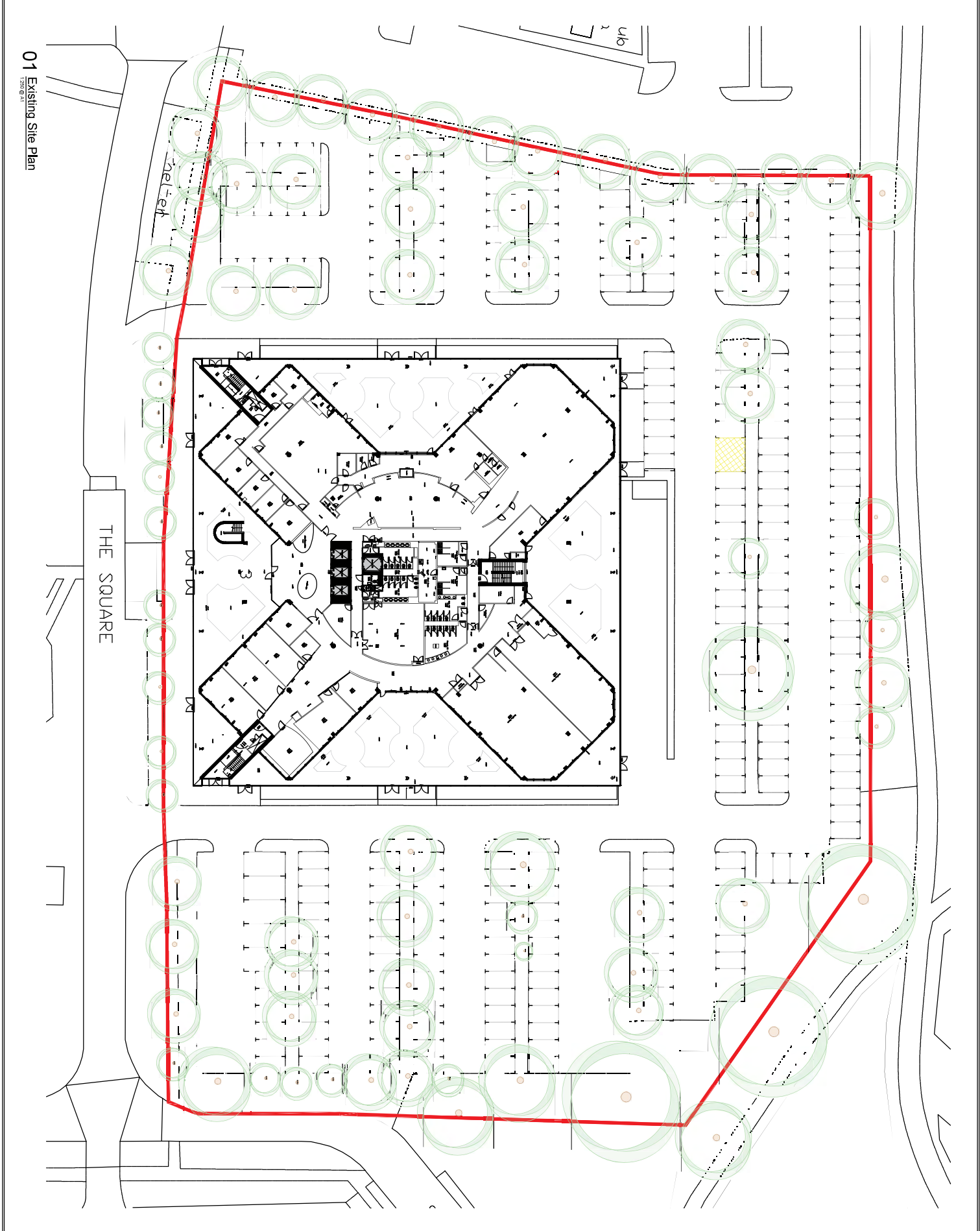
Project No: 21087  
Scale: @ A3/A4  
Revision: 1:1000/1:2000 | 02  
Drawing No: 21087-HALE-XX-00-DR-A-0001



01 All information shown is subject to survey, and is not intended to be used for construction purposes. Measure all dimensions on site for verification of data.

Site Boundary Line  
(137069m/328 feet)

<b>hale</b> ARCHITECTURE 255 Whitehall Street, London, SE1 1SP			
<b>Project:</b> 3 The Square, Stockley Park			
<b>Drawing Title:</b> Existing General Arrangement Site Plan			
<b>Project No:</b> 21087	<b>Scale @ A3/A4:</b> 1:250/1:500	<b>Revision:</b> 01	<b>Drawing No.:</b> 21087-HALE-XX-00-DR-A-0002
<b>Date:</b> 01/11/2023	<b>Drawn By:</b> JAH	<b>Checked By:</b> JAH	<b>Project Manager:</b> JAH

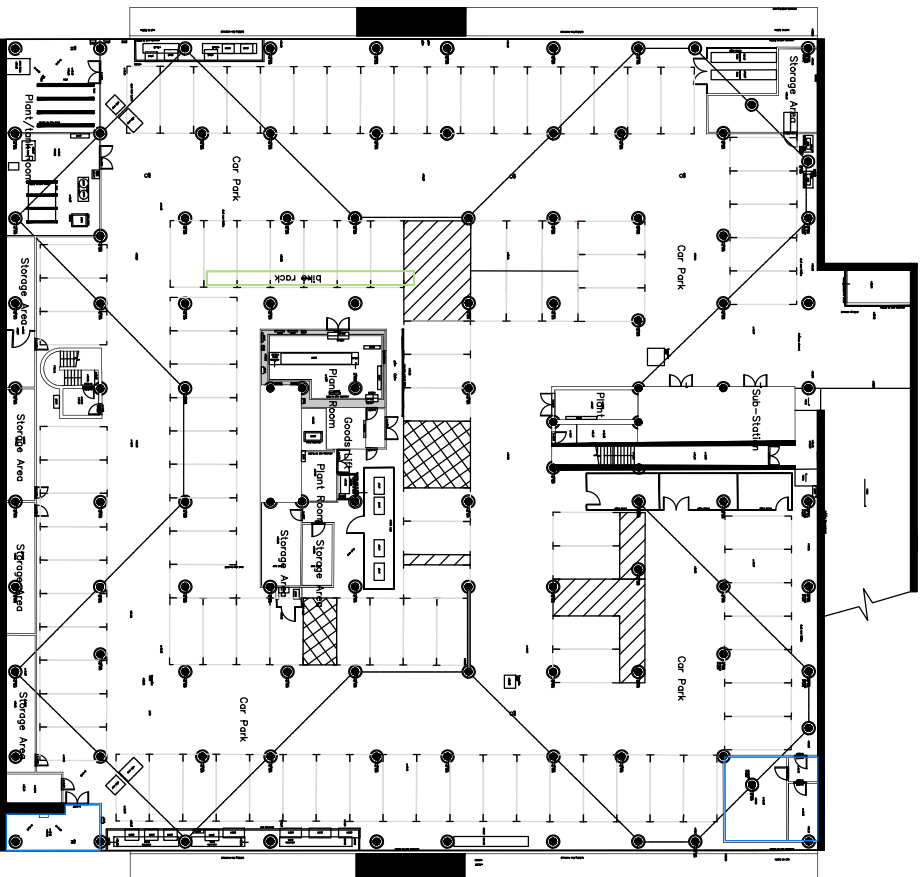


01 Existing Site Plan

1200 @ A1



3/16/2017  
 © All information shown is subject to survey, design and construction. It is for informational purposes only and should not be used for construction purposes. Measure all dimensions on site for verification of data.



01	Holdbase	XXX/XXX/2017	JLH	1/16
Rev:	Notes:	Date:	Drawn:	By:



**hale**  
 ARCHITECTURE  
 251 Leadenhall Street, London, SE1 1SP  
 Project:  
 3 The Square, Stockley Park

Drawing Title:  
**Existing General Arrangement  
 Basement Floor Plan**

Project No:	Scale @ A3/A4:	Revision:
21087	1:200/1:400	01
Drawing No:		
21087-HALE-B1-B1-DR-A-0009		

**01 Existing Basement Floor Plan**

12001 @ A1

01/24/2017  
 All information shown is subject to survey, verification and shall not be used for construction purposes. Measure all dimensions on site for verification of data.

Notes

01	Final Issue	2/2/2017	JM	1/16
Rev.	Notes	Date	Drawn By	Scale

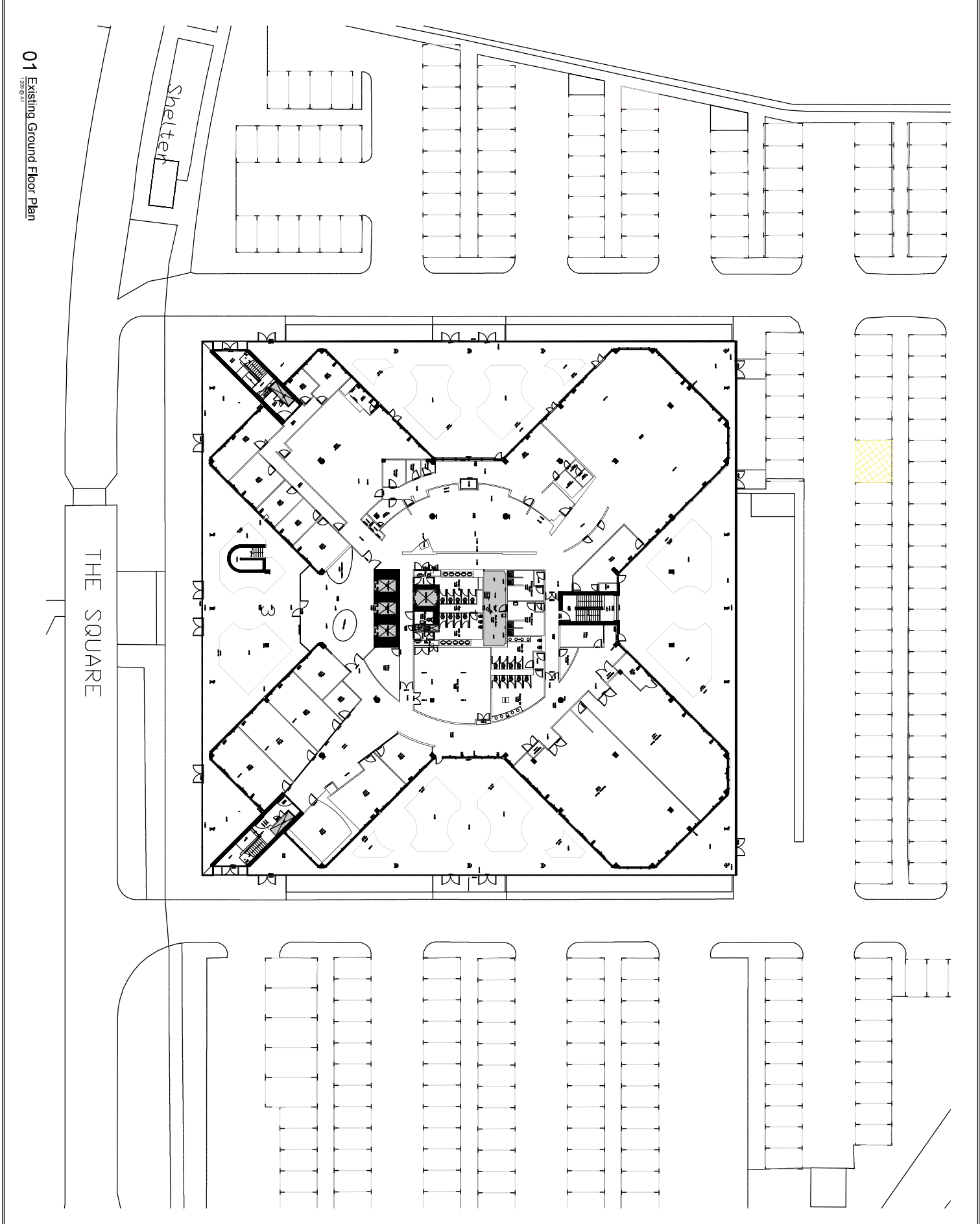


**hale**  
 ARCHITECTURE

225 Leadenhall Street, London, SE1 1SP  
 Project: 3 The Square, Stockley Park

Drawing Title:  
**Existing General Arrangement  
 Ground Floor Plan**

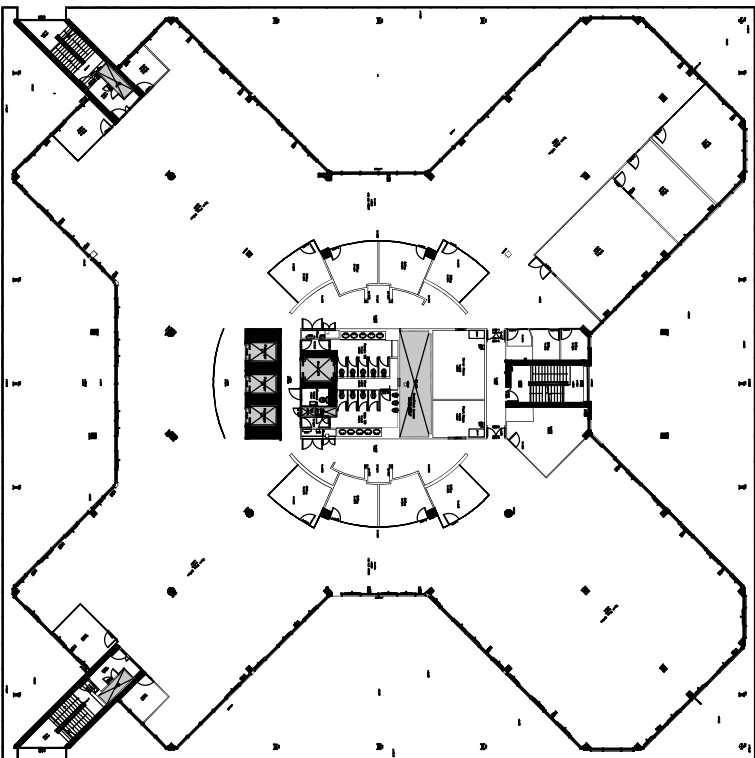
Project No.	Scale @ A3/A4	Revision
21087	1:200/1:400	01
Drawing No.	21087-HALE-B1-GF-DR-A-0010	



**01 Existing Ground Floor Plan**

2008 © HA

**Notes:** All information shown is subject to any drawings and information within is for indicative visualization use **only** and not be used for construction or any other purpose without the written verification of Hale.



OF: First Floor	DATE: 2023.02.14
REF: 21087-HALE-B-01-DR-A-0011	DATE: 2023.02.14



**hale**  
ARCHITECTURE  
220, Southampton Street, London, SE1 1UP  
Project: 317th Square, South Park

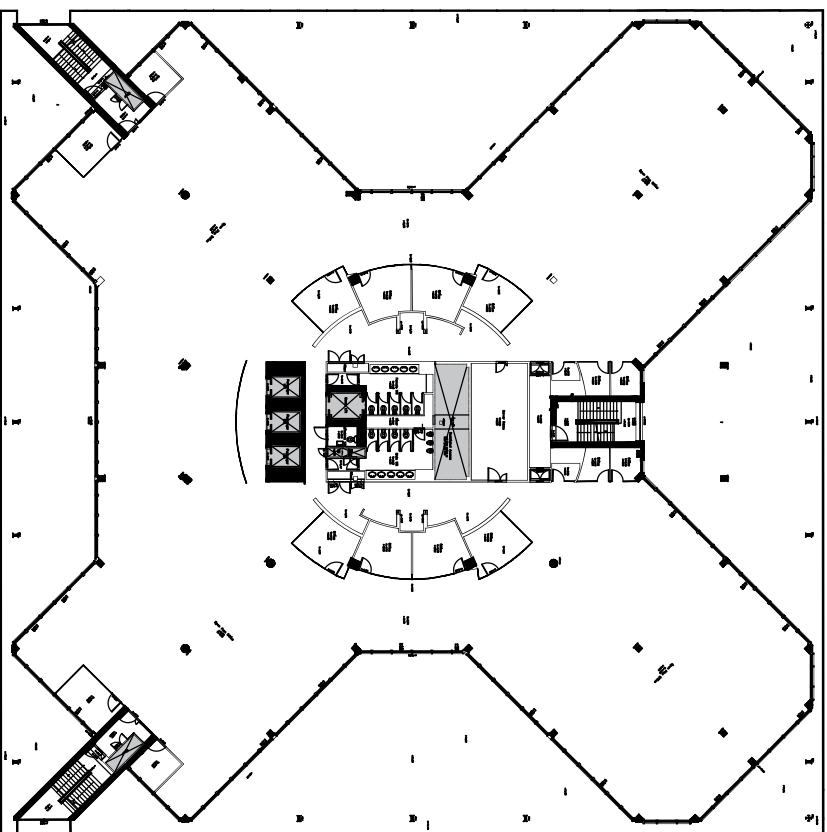
Project: 317th Square, South Park  
Existing General Arrangement  
First Floor Plan

Project No: 21087	Scale: 1:200	Sheet No: 01
Client: Columbia Threadneedle Investments	Project Name: 317th Square, South Park	Project Location: 317th Square, South Park

**01 Existing First Floor Plan**

Scale: 1:200

3/16/2012  
 © All information shown is subject to survey, design, and construction conditions. It is for informational purposes only and should not be used for construction purposes. Measure all dimensions on site for verification of data.



01	Final Issue	XXXXXX/2012	JAN	1/14
Rev.	Notes	Drawn	Checked	Scale



**hale**  
 ARCHITECTURE

225 Leadenhall Street, London, SE1 1SP  
 Project:  
 3 The Square, Stockley Park

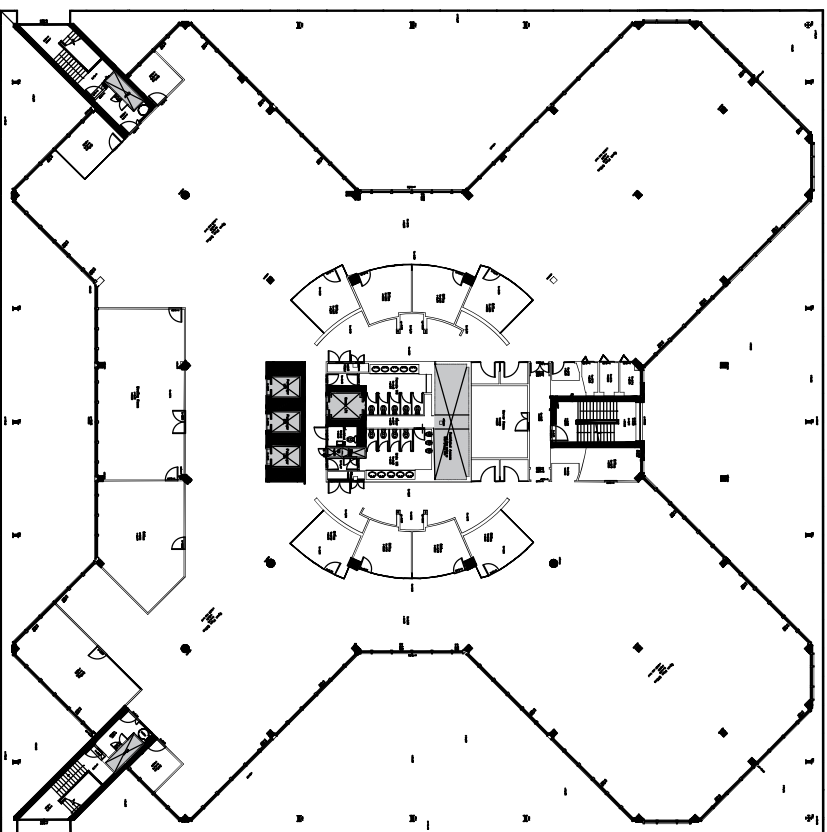
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 Existing General Arrangement  
 Second Floor Plan

Project No.	Scale @ A3/A4	Revision
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Drawing No.	21087-HALE-B1-02-DR-A-0012	

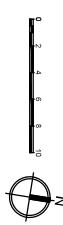
01 Existing Second Floor Plan

1:200 @ A1

3/16/2017  
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01	Final Issue	XXXXXX/2017	JAN	1/14
Rev.	Notes	Date	Drawn	By



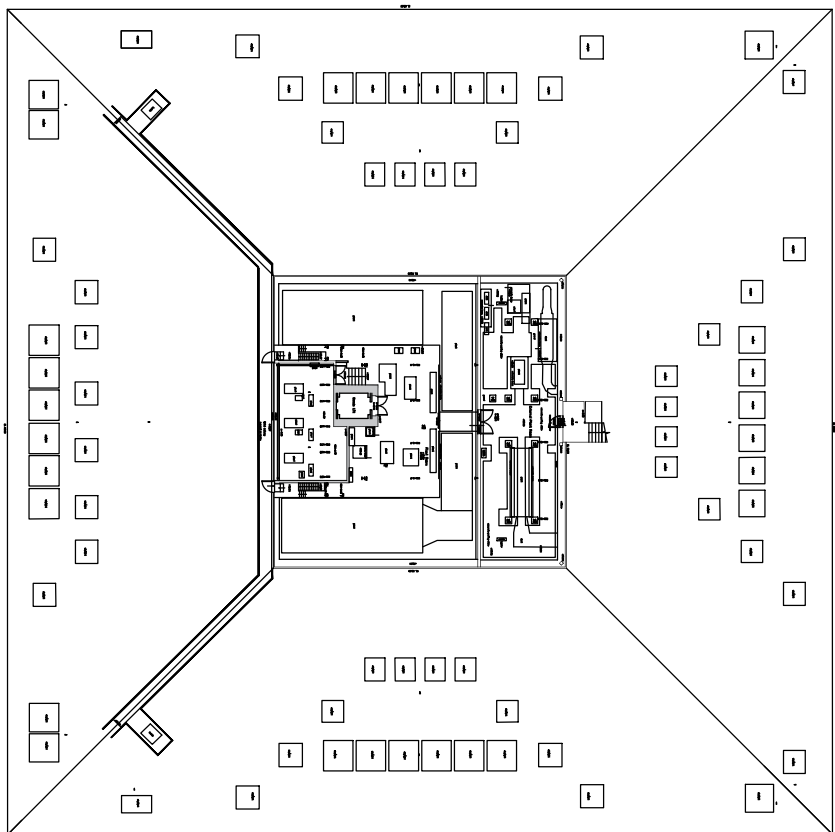
**hale**  
 ARCHITECTURE  
 255 Leadenhall Street, London, SE1 1SP  
 Project  
 3 The Square, Stockley Park

Drawing Title  
**Existing General Arrangement  
 Third Floor Plan**  
 Project No. 21087  
 Scale @ A3/A4 1:200/1:400  
 Revision No. 01  
 Drawing No. 21087-HALE-B1-03-DR-A-0013

**01 Existing Third Floor Plan**

1:200 @ A1

3/16/2017  
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01	Final Issue	XXXXXX/2017	JAN	1/14
Rev.	Notes	Date	Drawn	By



**hale**  
 ARCHITECTURE  
 251 Leadenwall Street London, SE1 1SP  
 Project  
 3 The Square, Stockley Park

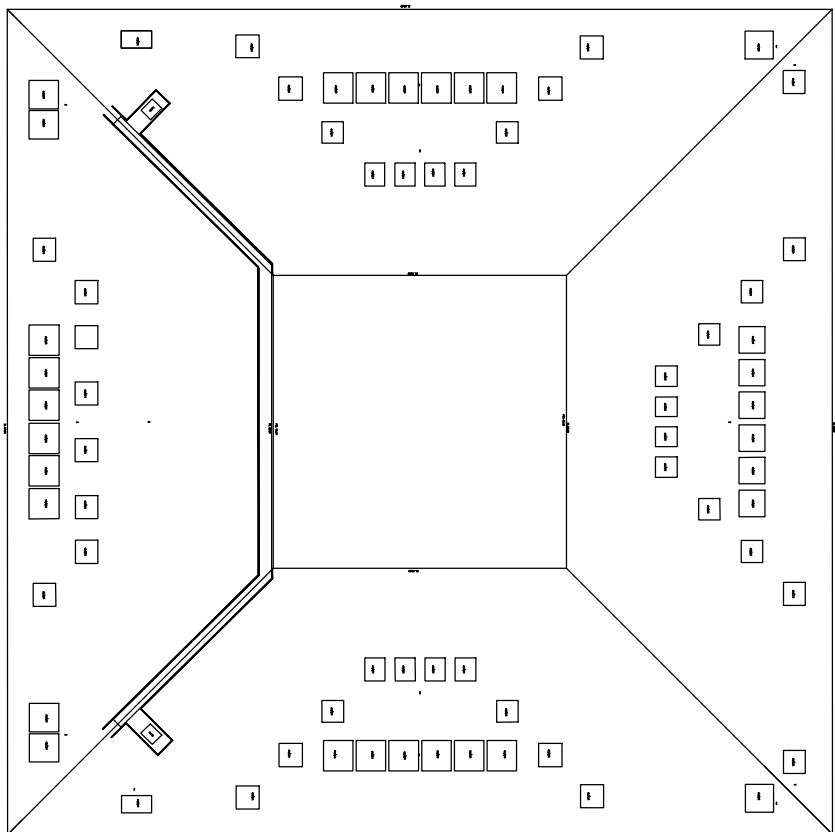
Drawing Title  
**Existing General Arrangement  
 Fourth Floor Plan**  
 Project No  
 21087  
 Scale @ A3/A4  
 1:200/1:400  
 Revision  
 -  
 Drawing No.  
**21087-HALE-B1-04-DR-A-0014**

**01 Existing Fourth Floor Plan**

1:200 @ A4

3/8/2015  
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Name:



Roof Plan  
 1:200 @ A1

01 Existing Roof Floor Plan

1:200 @ A1

01	Final Issue	23/03/2015	JH	JA
Rev:	Notes:	Date:	Drawn:	Checked:



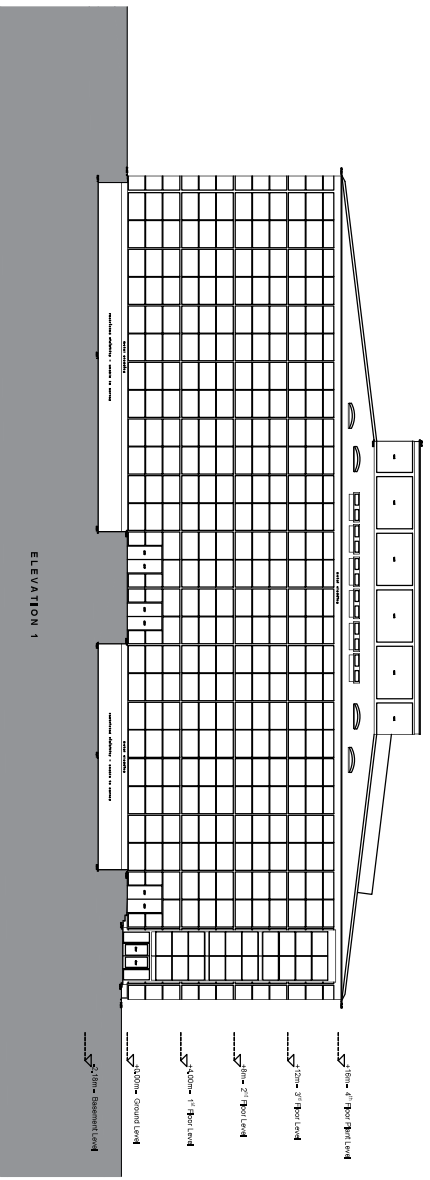
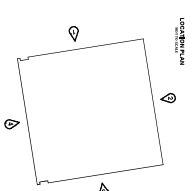
**hale**  
 ARCHITECTURE

225 Leadenhall Street, London, SE1 1SP  
 Project:  
 3 The Square, Stockley Park

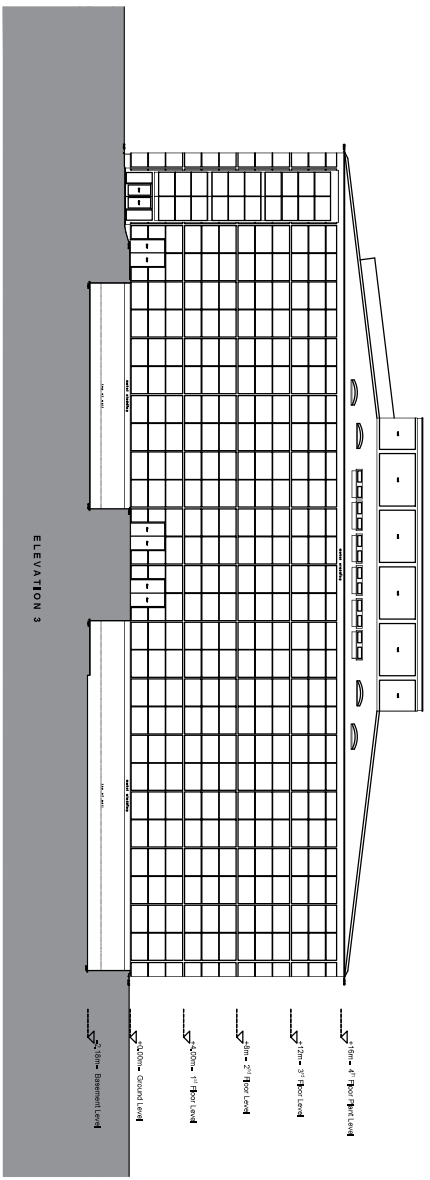
Drawing Title:  
 Existing General Arrangement  
 Roof Floor Plan

Project No:	Scale @ A1/A3:	Revision:
21087	1:200/1:400	-
Drawing No:	21087-HALE-B1-RF-DR-A-0015	

3/24/2021  
 All information shown is subject to survey, field verification and shall not be used for construction purposes. Measure all dimensions on site for verification of data.



01 Existing West Elevation



02 Existing East Elevation

**hale**  
 ARCHITECTURE  
 225 Commonwealth Street, London, SE1 1SP

Project:  
 3 The Square, Stockley Park

Drawing Title:  
 Existing General Arrangement Elevations - East & West

Project No:	21087	Scale @ A3/A4:	1:200/1:400	Revision:	01
Drawing No.:	21087-HAL-E-B1-XX-DR-A-0021				

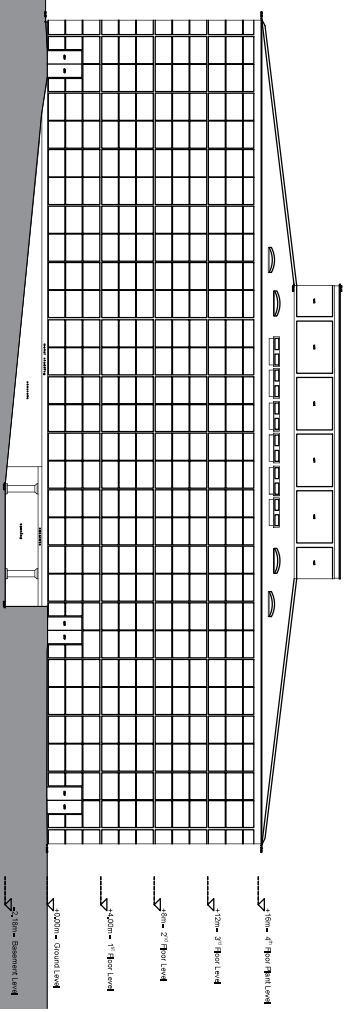
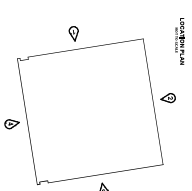
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 Date: 21/08/21  
 Drawn: DM  
 Checked: JH

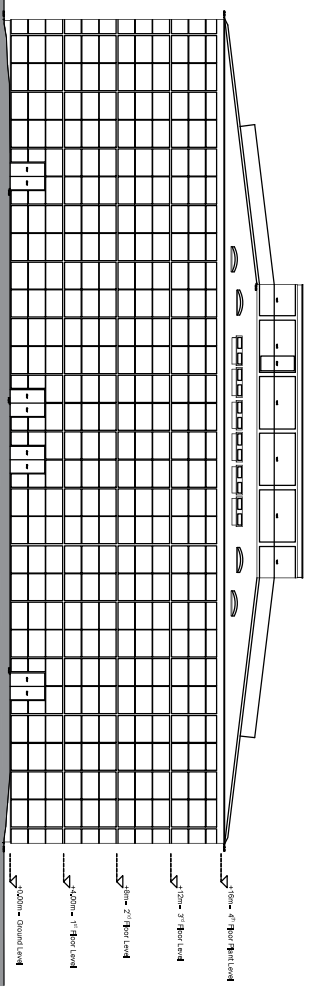
**COLUMBIA**  
 THREADNEEDLE  
 INVESTMENTS



3/24/2020  
 All information shown is subject to survey, field verification and shall not be used for construction purposes. Measure all dimensions on site for verification of data.



01 Existing North Elevation



02 Existing South Elevation

**hale**  
 ARCHITECTURE  
 255 Leinster Road, London, SE1 1SP

**COLUMBIA**  
 THREADNEEDLE  
 INVESTMENTS

Project: 3 The Square, Stockley Park

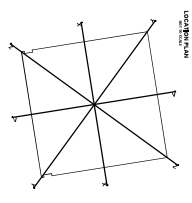
Drawing Title: Existing General Arrangement Elevations - North & South

Project No:	21087	Scale @ A3/A4:	1:200/1:400	Revision:	01
Drawing No.:	21087-01				

21087-HAL-E-1-X-D-R-A-0020

3/5/2018  
 © All information shown is subject to survey, design and construction. It is for information purposes only and should not be used for construction purposes. Measure all dimensions on site for verification of data.

Notes



COORDINATE  
 IN METERS

01	Initial Issue	XXX/XXX/2018	JAB	1/16
Rev:	Notes:	Date:	Drawn by:	Checked by:

0 2 4 6 8 10

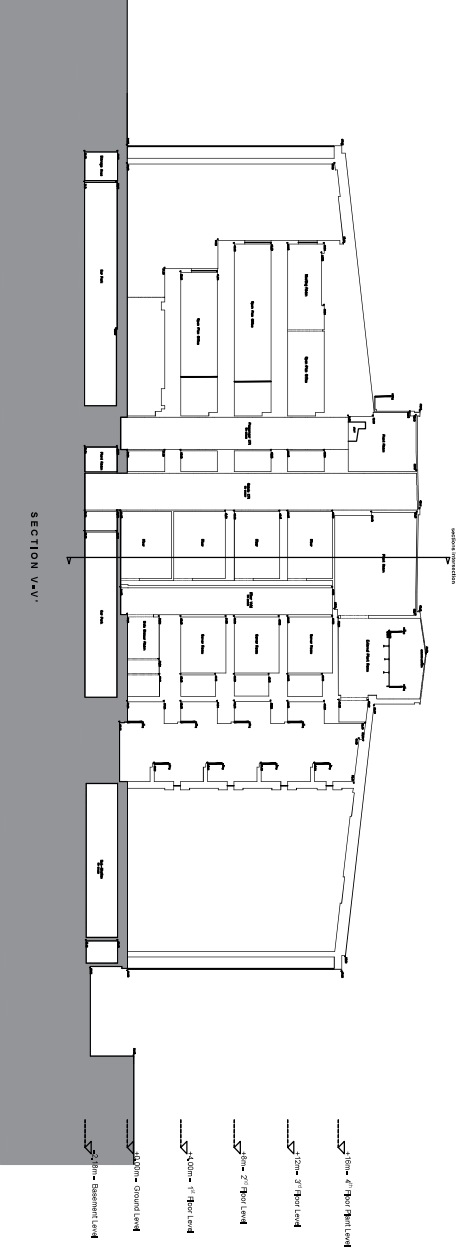


**hale**  
 ARCHITECTURE

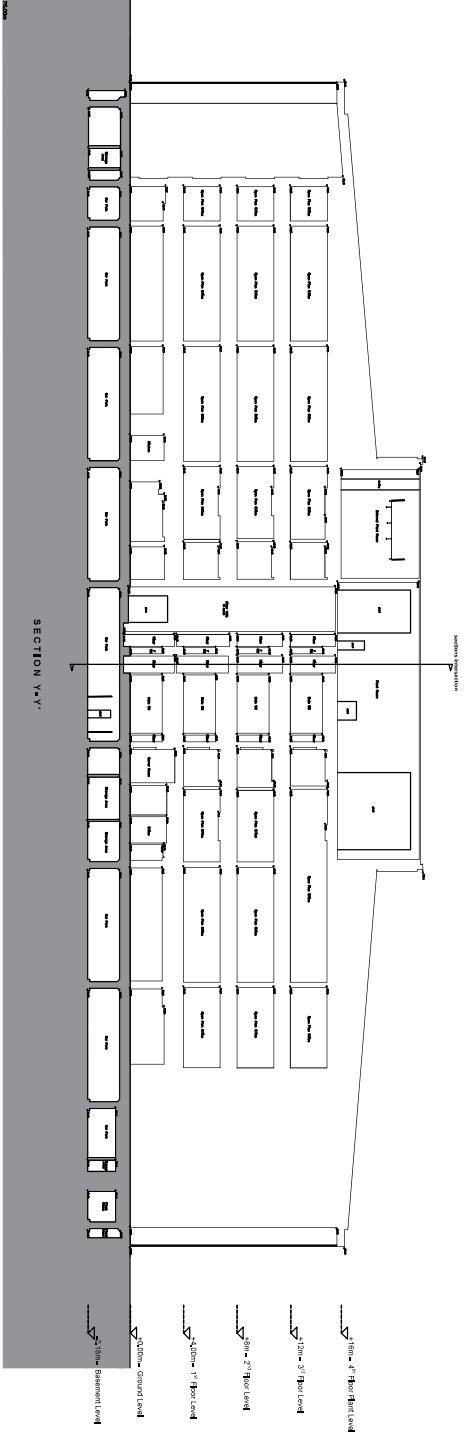
225 Leadenhall Street, London, EC3A 3BP  
 Project:  
 3 The Square, Stockley Park

Existing General Arrangement  
 Sections VV and YY

Project No:	Scale @ A3/A4:	Revision:
21087	1:200/1:400	01
Drawing No:		
21087-HALE-B1-XX-DD-R4-00030		



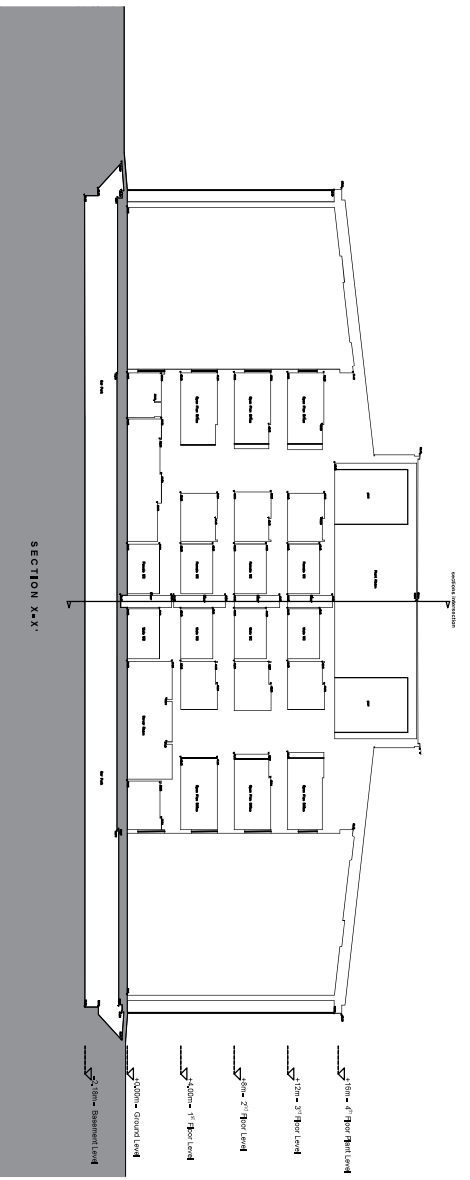
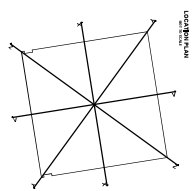
01 Existing Section V-V



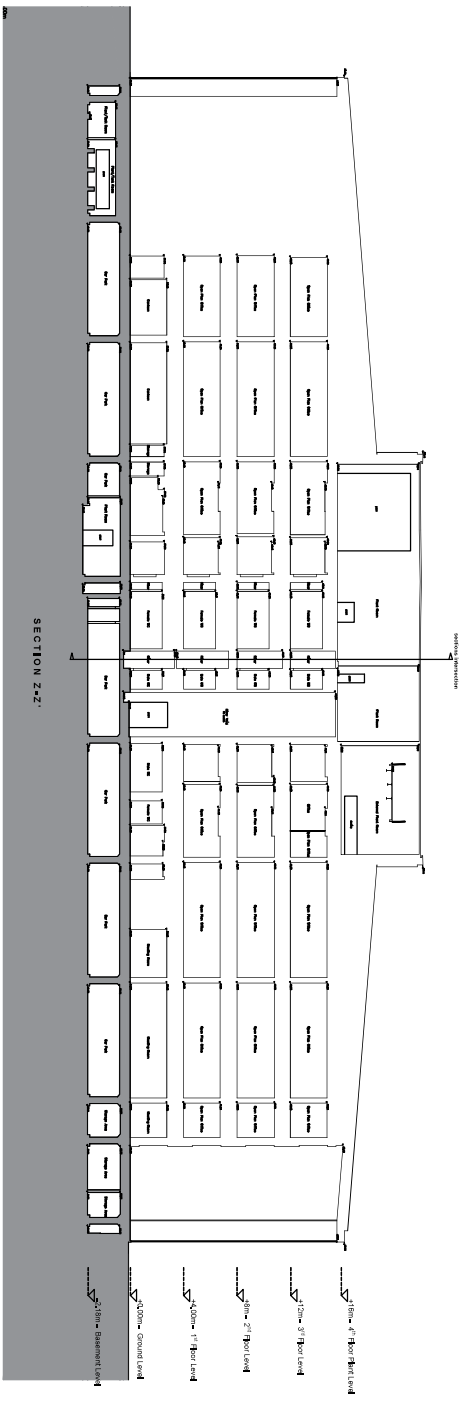
02 Existing Section Y-Y

3/16/2017  
 © All information shown is subject to survey, design, and construction requirements. It is for informational purposes and should not be used for construction purposes. Measure all dimensions on site for verification of data.

Note:



01 Existing Section X-X



02 Existing Section Z-Z

01	Final Issue	XXX/XXX/2017	JLH	ML
Rev.	Notes	Date	Drawn	Checked



**hale**  
 ARCHITECTURE  
 235 Leinster Avenue, London, SE1 1SP








Project:  
 3 The Square, Stockley Park

Drawing Title:  
 Existing General Arrangement  
 Sections XX and ZZ

Project No.	Scale @ A3/A4	Revision
21087	1:200/1:400	01
Drawing No.		
21087-HALE-B1-XX-DD-R4-0031		

01 All information shown is subject to survey, verification and shall not be used for construction purposes. Measure all dimensions on site for verification of data.

Notes

-  Site Boundary Line (13,706sqm/328 acres)
-  Proposed External works to form Reservoir garden
-  Proposed External works to form Reservoir Pavilion
-  Proposed Audience Bay
-  Proposed Cycle Parking - 45 Sheltered Spaces
-  Proposed Vehicle Delivery Set down + Release Delivery set down
-  Proposed Vehicle Delivery Set down + Release Delivery set down

Total Parking = 157  
157 x 2.4m x 5.0m = 1904.4sqm

**BNG Summary**

Called listed under the Natural England Statutory Biodiversity Metric, the recommended natural flood capacity (NFC) of the site is 100% (100% of the site area) and the site is currently 100% (100% of the site area) NFC.

The National Planning Policy Framework (NPPF) 2023 requires all projects to demonstrate net gains for biodiversity (NG24) requirement under the Environment Act 2021. Therefore, in accordance with an overall gain in biodiversity is consistent with both existing planning policy and upcoming legal requirements.

04	Proposed trees & LAND Area, species	2024/2024	183	144
03	Landfill Area, species	06/24/2024	14	144
02	Hard for open Date	20/24/2024	419	144
01	Hard for open Date	06/24/2023	14	144



**hale**  
 ARCHITECTURE  
 225 Leinster Road, London, SE1 1SP

Project:  
 3 The Square, Stockley Park

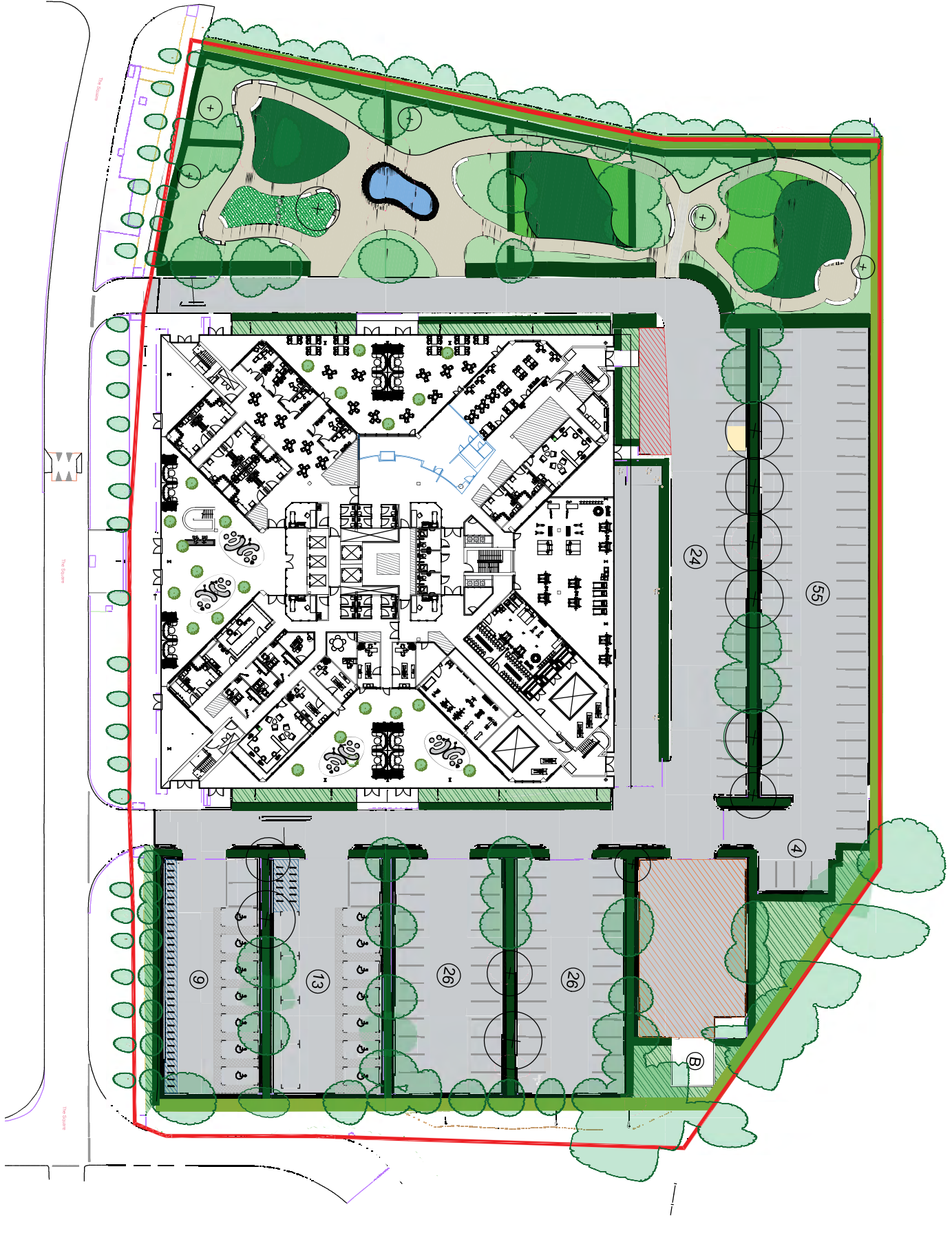
Drawing Title:  
 Proposed General Arrangement Site Plan

Project No:  
 21087

Scale: @ A3/A4  
 1:250/1:500

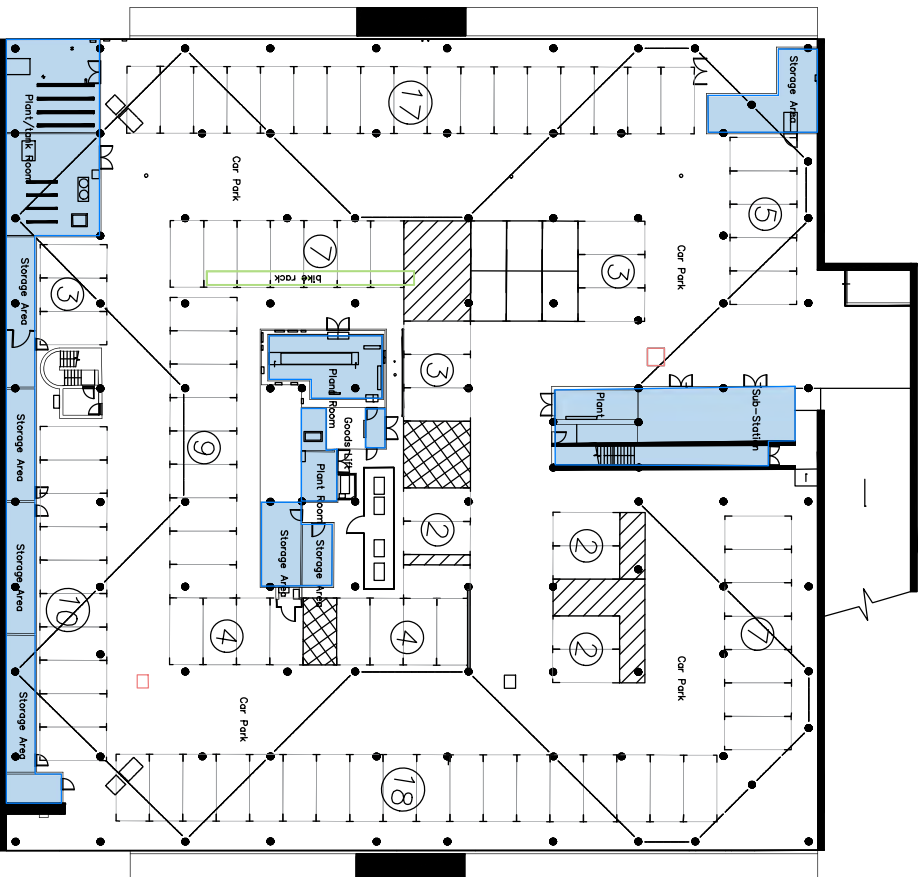
Revision:  
 04

Drawing No:  
 21087-HALE-XX-00-DR-A-1002



3/16/2017  
 All information shown is subject to survey, design and construction. It is for informational purposes and should not be used for construction purposes. Measure all dimensions on site for verification of data.

- Proposed Plant area
- Total Parking = 98



01	Final Issue	06/03/2014	JM	JA
Rev:	Notes:	Date:	Drawn:	Checked:



**hale**  
 ARCHITECTURE  
 205 Leadenhall Street, London, SE1 1SP  
 Project:  
 3 The Square, Stockley Park

Drawing Title:  
**Proposed General Arrangement  
 Basement Floor Plan**

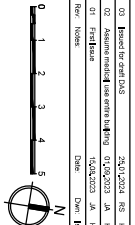
Project No:	Scale @ A3/A4:	Revision:
21087	1:200/1:400	01
Drawing No:	21087-HALE-B1-B1-DR-A-1009	

**01 Proposed Basement Floor Plan**

12001 @ A1

01 All information shown is subject to survey, verification and should not be used for construction purposes. Measure all dimensions on site for verification of data.

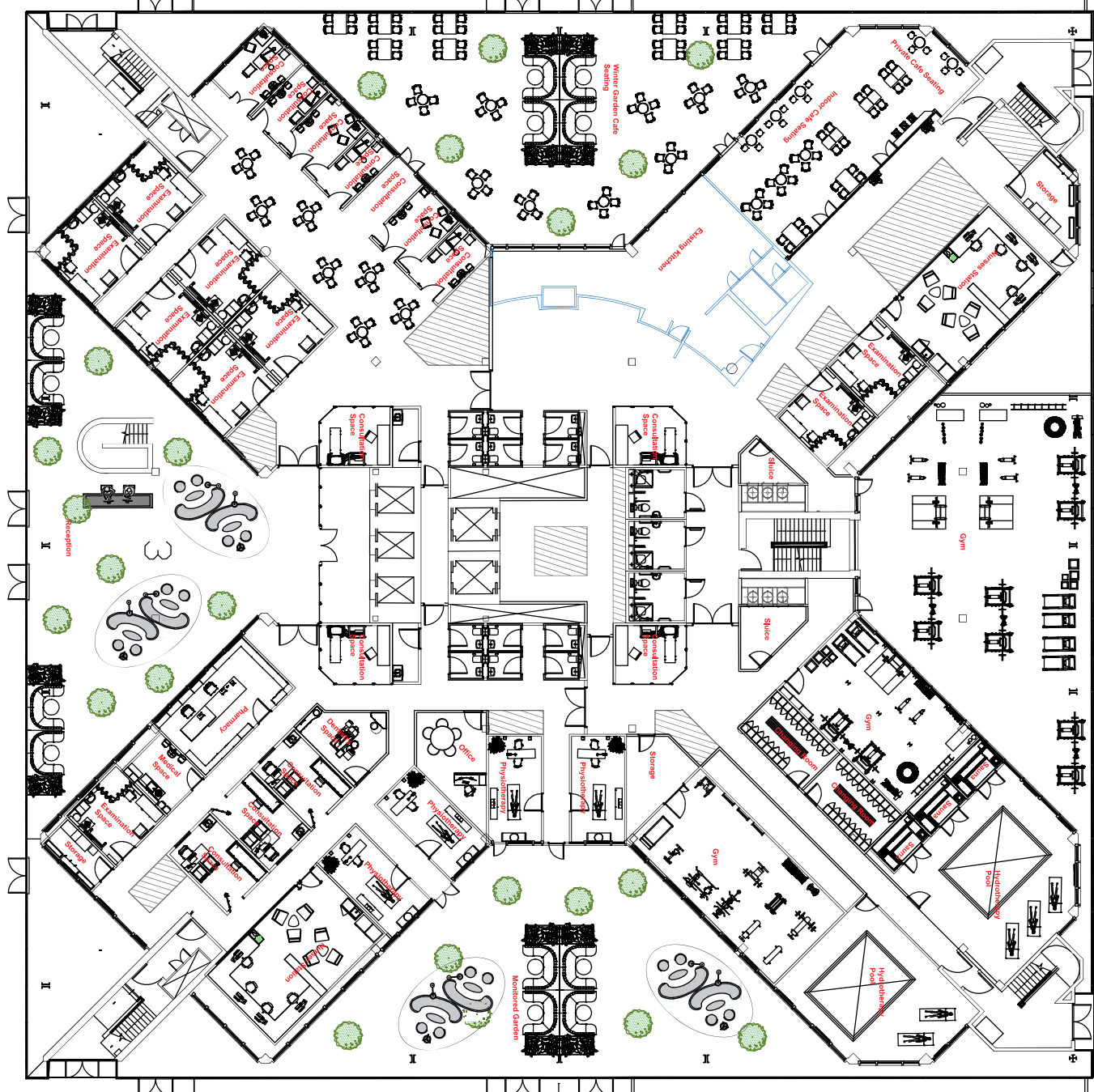
- Nurse Station (127sqm)
- Gym (148sqm)
- Hydrotherapy Space (143sqm)
- Changing Rooms (28sqm)
- Winter Garden Workout Space (248sqm)
- Eating Kitchen Space (91sqm)
- Storey Space (62sqm)
- Internal Cafe Seating (284sqm)
- Winter Garden Cafe Seating (284sqm)
- Storage Cupboards and Janitorial Spaces (47sqm)
- Consultation Space (191sqm)
- Examination Space (107sqm)
- Treatment Space (63sqm)
- Physio Therapy (74sqm)
- Pharmacy (47sqm)
- Auxiliary Space (28sqm)



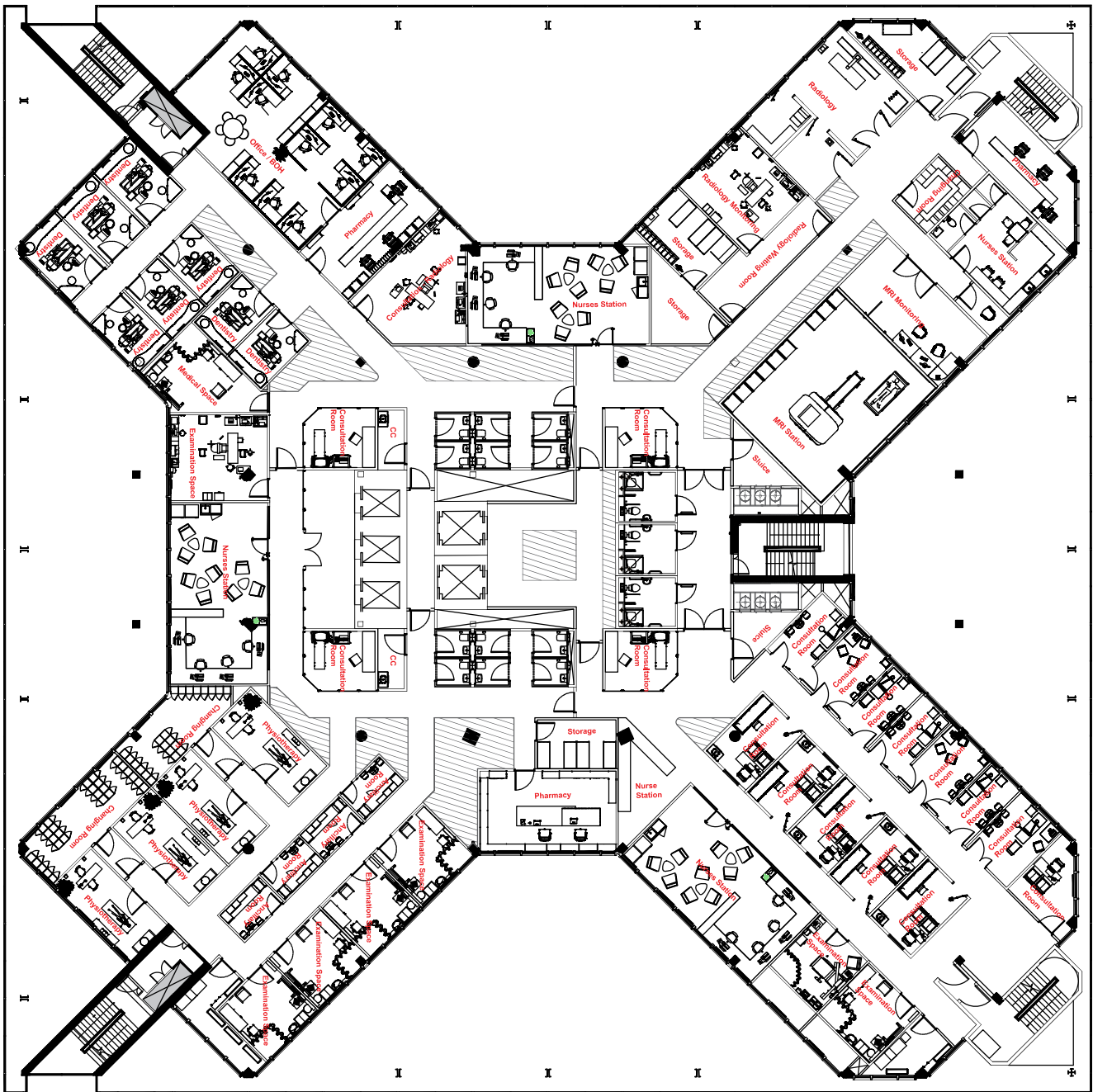
**hale**  
 ARCHITECTURE  
 200 Lambwood Street London SE13 3JF

Project:  
 3 The Square, Shoddy Park  
 Drawing Title:  
**Proposed General Arrangement  
 Ground Floor Plan**

Project No:  
 21087-CHALE-B1-GF-DR-A-1010  
 Scale: @ A3/A4  
 Drawing No:  
 03

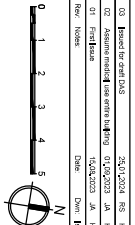






**Disclaimer**  
 All information shown is subject to survey, verification and should not be used for construction purposes. Measure all dimensions on site for verification of data.

- Notes**
- Nurse Station (310sqm)
  - Mat & Radiology (238sqm)
  - Physio Therapy (74sqm)
  - Changing Rooms (40sqm)
  - Storage Cupboards and Janitorial Space (78sqm)
  - Consultation Space (191sqm)
  - Examination Space (167sqm)
  - Treatment Space (54sqm)
  - Dental Space (89sqm)
  - Pharmacy (89sqm)
  - Ancillary Space (174sqm)

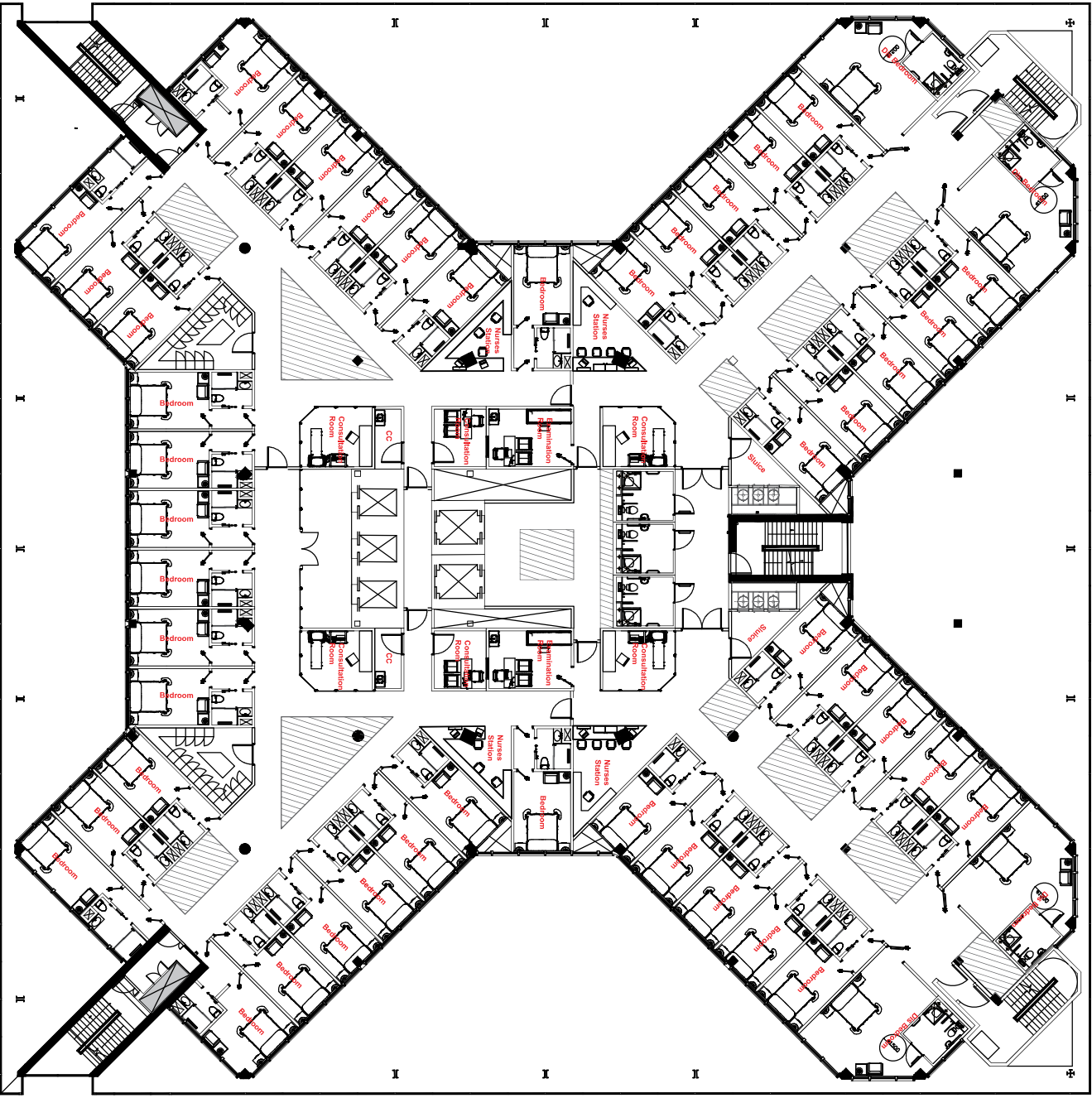


**hale**  
 ARCHITECTURE  
 200 Lambwood Street London SE11 3JP  
 Project: 3 The Square, Shoddy Park  
 Drawings: 03

**21087-HALE-B1-01-DR-A-1011**  
 Project No: 21087  
 Scale: @ A3/AS  
 Drawing No: 03  
 Date: 11/25/12  
 Revision: 03

① All information shown is subject to survey, verification and should not be used for construction purposes. Measure all dimensions on site for verification of data.

- Notes:
- 4 x Nurse Station (66sqm)
  - 50 x Long Stay medical bed room including 4 Accessible Rooms (725sqm)
  - Consultation Room (176sqm)
  - Ancillary Space - Amenity, Storage, Sluice etc (176sqm)



01	Based on client DMS	24.01.2014	ASB	2	AK
02	Assessment and client briefing	03.06.2013	JM	14	AK
03	Final Issue	15.04.2013	JM	14	AK
Revis	Notes	Date	Drawn	Checked	By

0 1 2 3 4 5



**hale**  
ARCHITECTURE

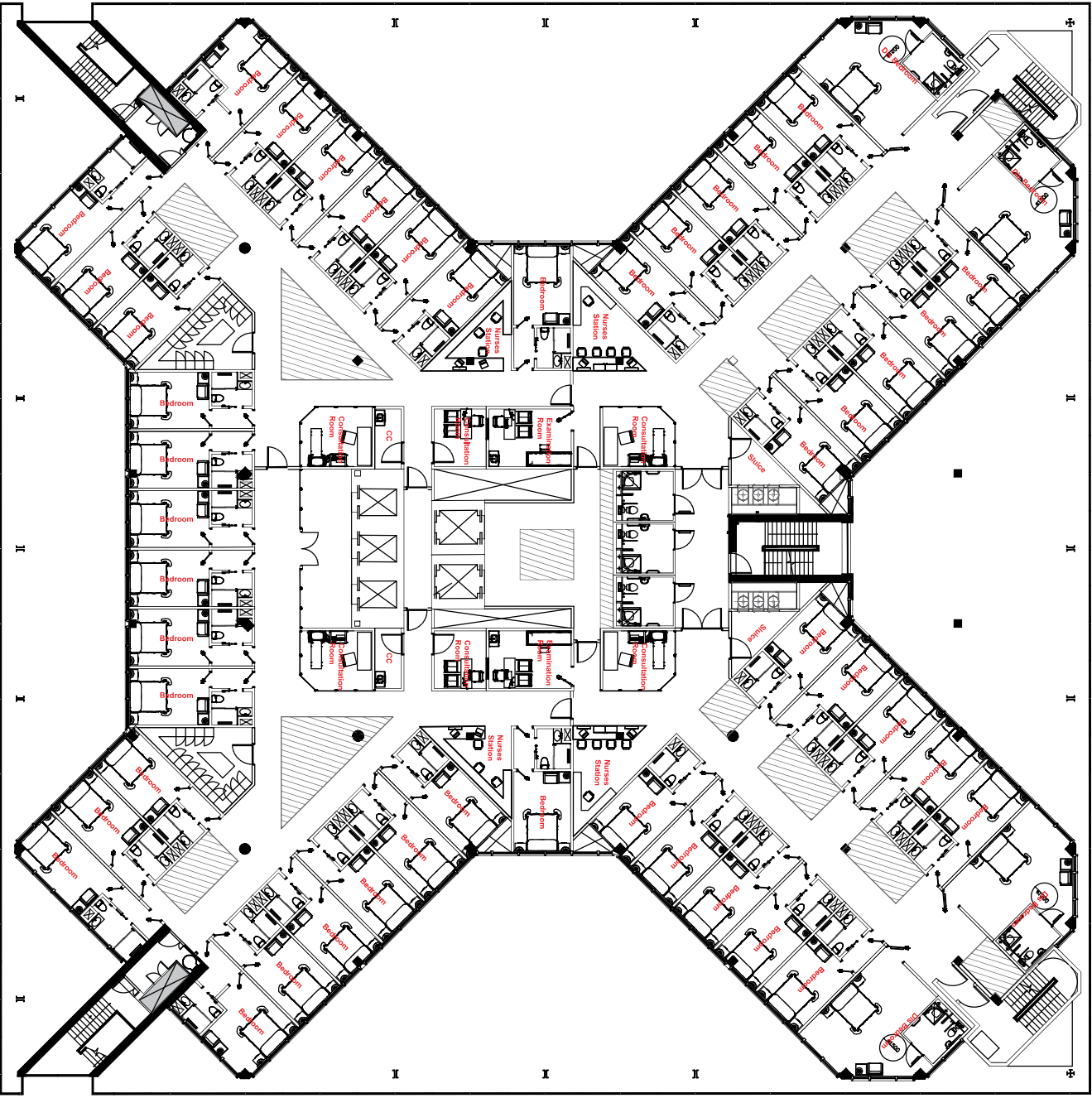
200, Cannon Row, London, SE10 3JF  
 Project: 3 The Square, Shadwell Park  
 Drawing Title: Proposed General Arrangement  
 Second Floor Plan

Project No: 21087-HALE-B1-02-DR-A-1012  
 Scale: @ A3: 1:125 @ A1: 1:250  
 Drawing No: 03



Disclaimer: All information shown is subject to survey, verification and should not be used for construction purposes. Measure all dimensions on site for verification of data.

- Notes:
- 4 x Nurse Station (66sqm)
  - 50 x Long Stay medical bedroom including 4 Accessible Rooms (720sqm)
  - Consultation Room (116sqm)
  - Ancillary Space - Annexe, Storage, Sluice etc (176sqm)



01	Based on client DMS	24.01.2024	ISS	1A
02	Assessment and site visit	05.06.2023	JM	1A
03	Final Issue	15.04.2023	JM	1A
Rev:	Notes	Date	Drawn	Iss

Scale: 1:250





**hale**  
ARCHITECTURE

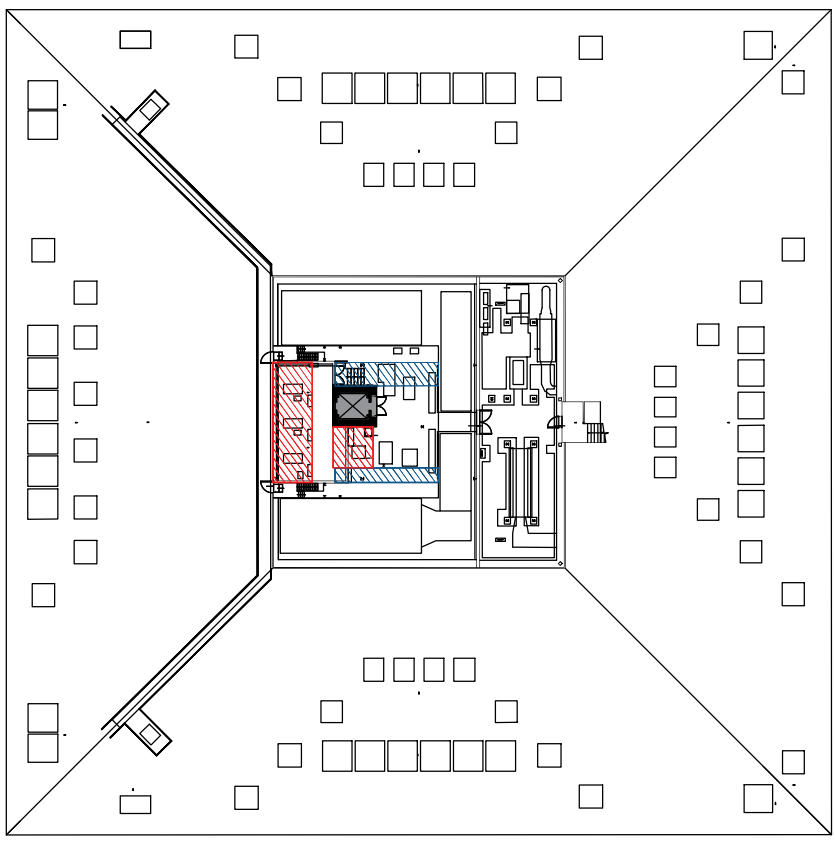
200, Cannon Street, London, SE1 3JF  
Project: 3 The Square, Shoddy Park

Drawings Title:  
**Proposed General Arrangement  
Third Floor Plan**

Project No:	Scale:	Revision:
21087-CHALE-B1-03-DR-A-1013	1:250	03

**Disclaimer**  
 All information shown is subject to survey, verification and should not be used for construction purposes. Measure all dimensions on site for verification of data.

- Notes**
-  - Top of the balustrade
  -  - Riser Location below



02	Issue for client date	25/01/2024	RSB	1A4
01	Final Issue	15/04/2023	JM	1A4
Rev:	Notes	Date	Drawn	Check

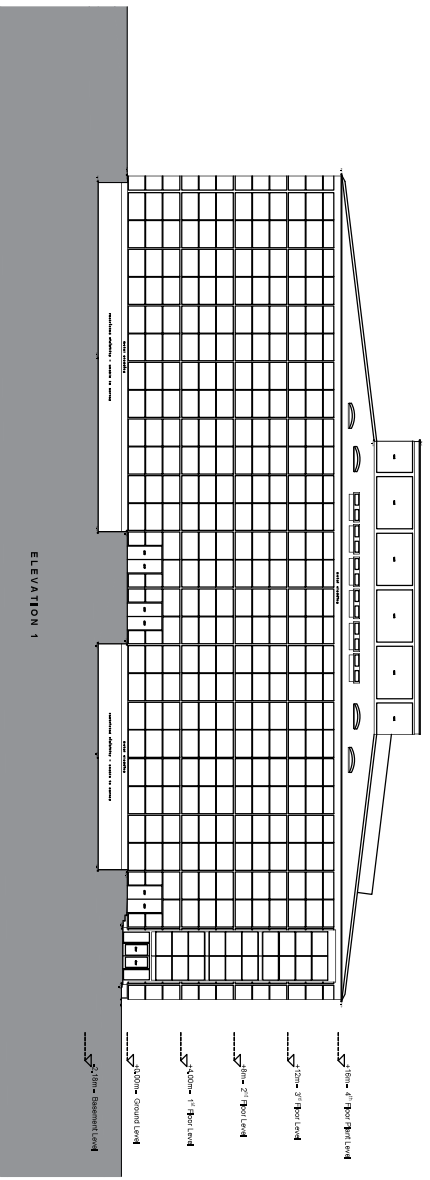
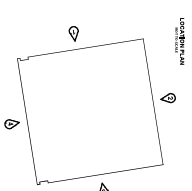


**hale**  
 ARCHITECTURE  
 200, Whitehorse Road, London, SE13 3HP  
 Project  
 3 The Square, Shoddy Park

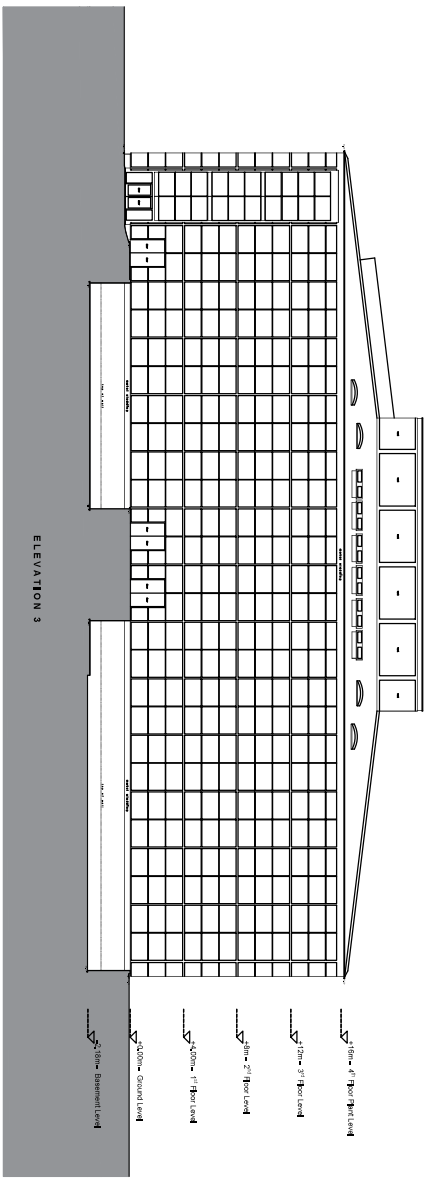
**Proposed General Arrangement  
 Fourth Floor Plan**  
 Drawing No: 21087-HALE-B1-04-DR-A-1014  
 Scale @ A3: 1:200/1:400  
 Revision: 02

**01 Proposed Fourth Floor Plan**  
1:200 @ A1

3/24/2021  
 All information shown is subject to survey, design and construction. It is for informational purposes and should not be used for construction purposes. Measure all dimensions on site for verification of data.



01 Proposed West Elevation  
 1/200 @ 1/8" = 1'-0"



02 Proposed East Elevation  
 1/200 @ 1/8" = 1'-0"

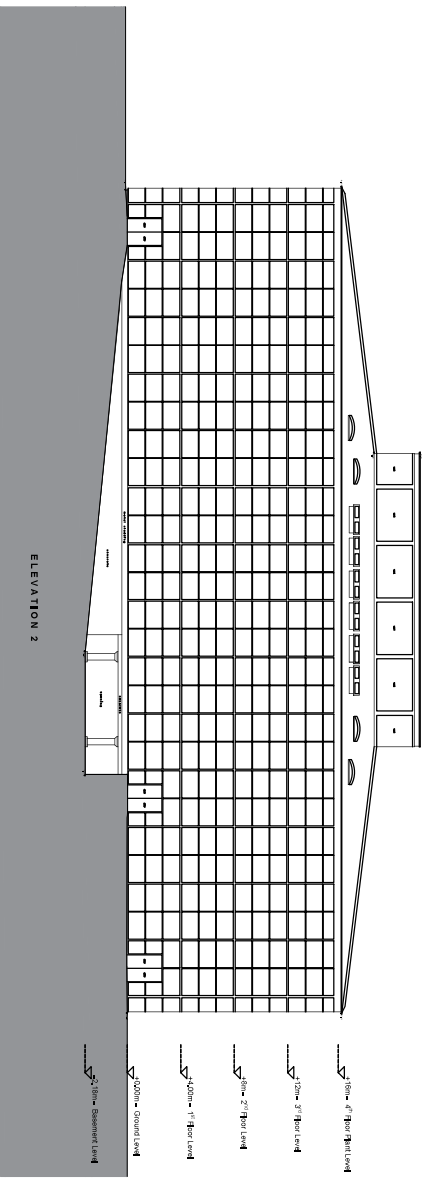
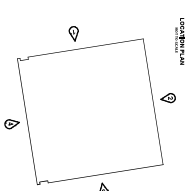
01	Final Issue	XXX/XXX/2021	JA	JA
Rev.	Notes	Date	Drawn	Checked



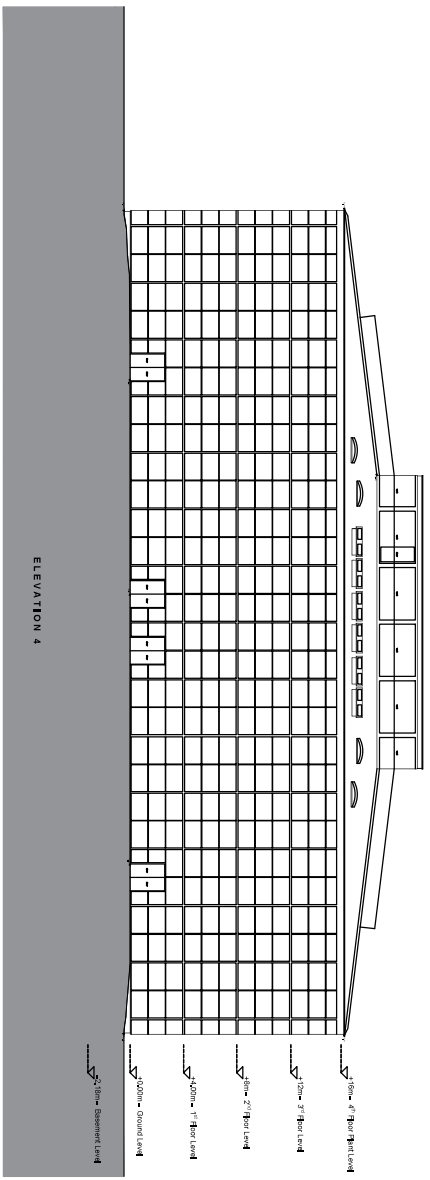
**hale**  
 ARCHITECTURE  
 255 Kentenworth Street, London, SE11 3SP  
 Project  
 3 The Square, Stockley Park

Drawing Title  
**Proposed General Arrangement Elevations - East & West**  
 Project No  
 21087  
 Scale @ A3/A4  
 1:200/1:400  
 Revision  
 01  
 Drawing No.  
 21087-HAL-E-B1-XX-D-R-A-1021

3/24/2020  
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01 Proposed North Elevation  
 1/20/20



02 Proposed South Elevation  
 1/20/20

01	Final Issue	XXXXXXXXXX	JA	1/14
Rev.	Notes	Date	Drawn	Checked

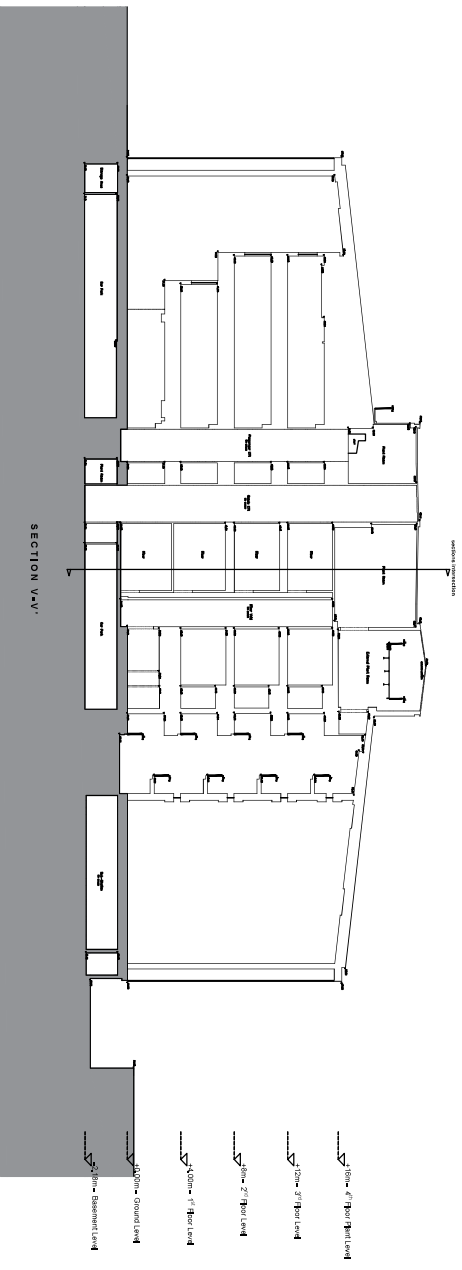
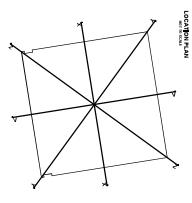


**hale**  
 ARCHITECTURE  
 225 Leinster Road, London, SE1 1SP  
 Project  
 3 The Square, Stockley Park

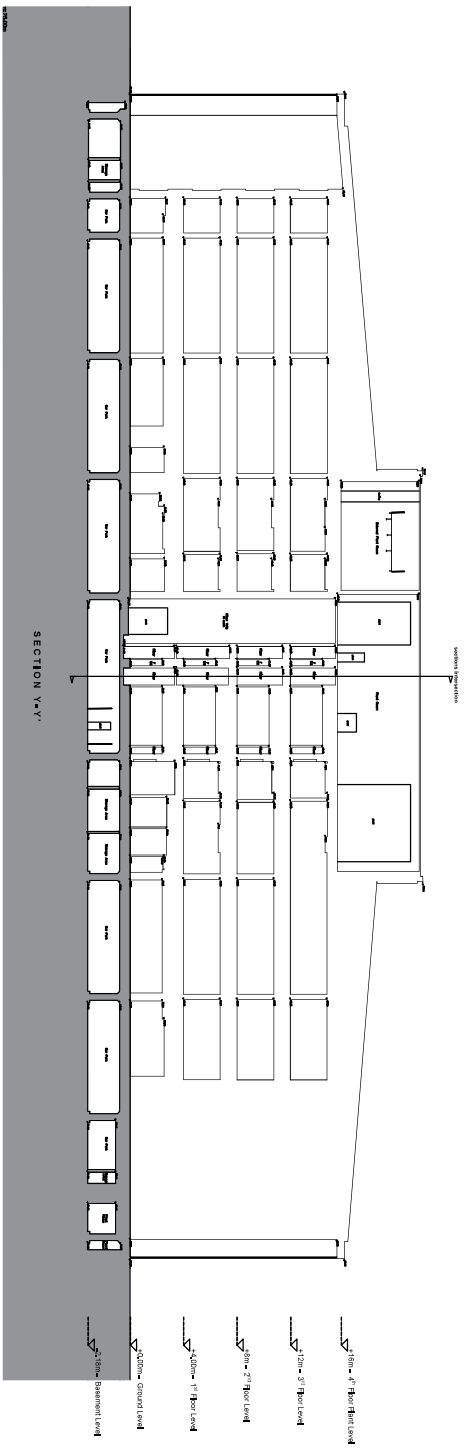
Drawing Title  
**Proposed General Arrangement Elevations - North & South**  
 Project No  
 21087  
 Scale @ A3/A4  
 1:200/1:400  
 Revision  
**01**  
 Drawing No.  
**21087-HAL-E-B1-XX-CD-R-A-1020**

3/5/2018  
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Notes



01 Proposed Section V-V'  
 1:200 @ A1



02 Proposed Section Y-Y'  
 1:200 @ A1

**hale**  
 ARCHITECTURE  
 255 Leimstrand Street, London, SE11 3SP

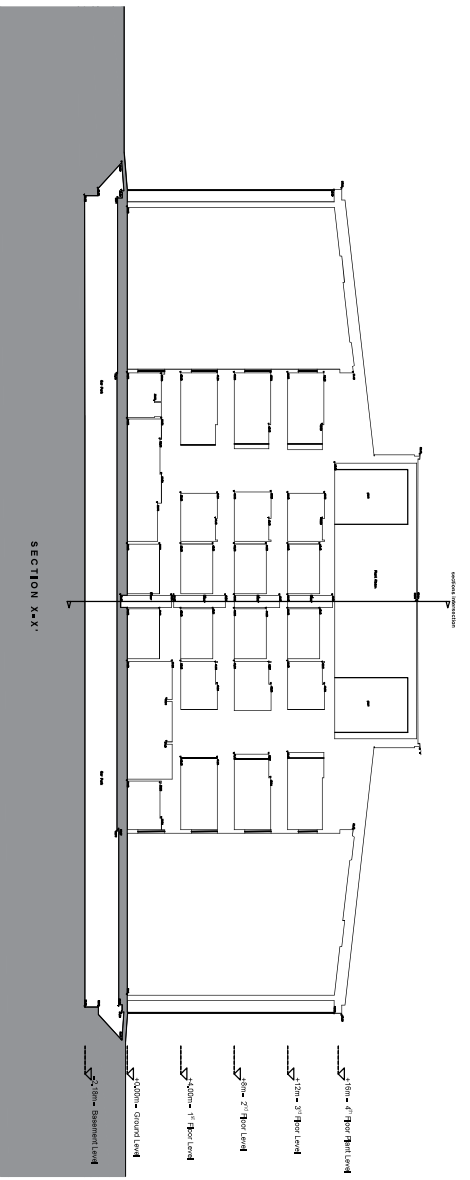
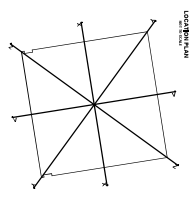
**COLUMBIA**  
 THREAVENEDLE  
 INVESTMENTS

Client: Columbia Threavenedle Investments  
 01: Hale Base  
 Rev: 01/06/2018 JLS: HA  
 Date: 01/06/2018  
 Scale: 1:200 @ A1

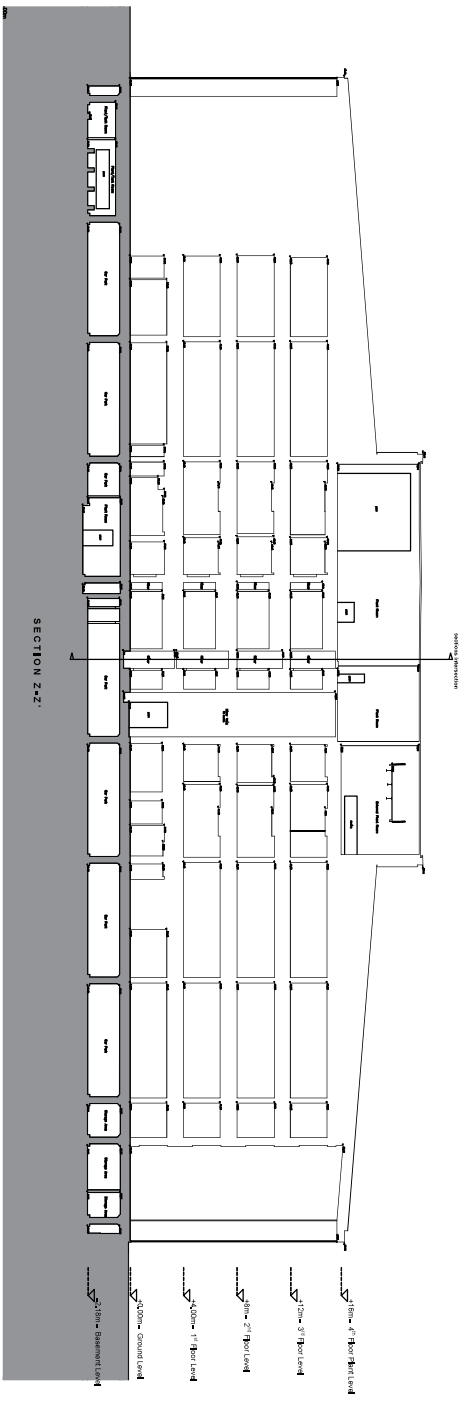
Project: 3 The Square, Stockley Park  
 Drawing Title: Proposed General Arrangement Sections VV and YY  
 Project No: 21087  
 Scale @ A1/A3: 1:200/1:400  
 Revision: 01  
 Drawing No: 21087-HALE-B1-XX-DD-R4-1-030

3/24/2024  
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Note:



01 Proposed Section X-X  
 1/200/1:400



02 Proposed Section Z-Z  
 1/200/1:400

01	Final Issue	06/05/2024	JLS	ML
Rev.	Notes	Date	Drawn	By

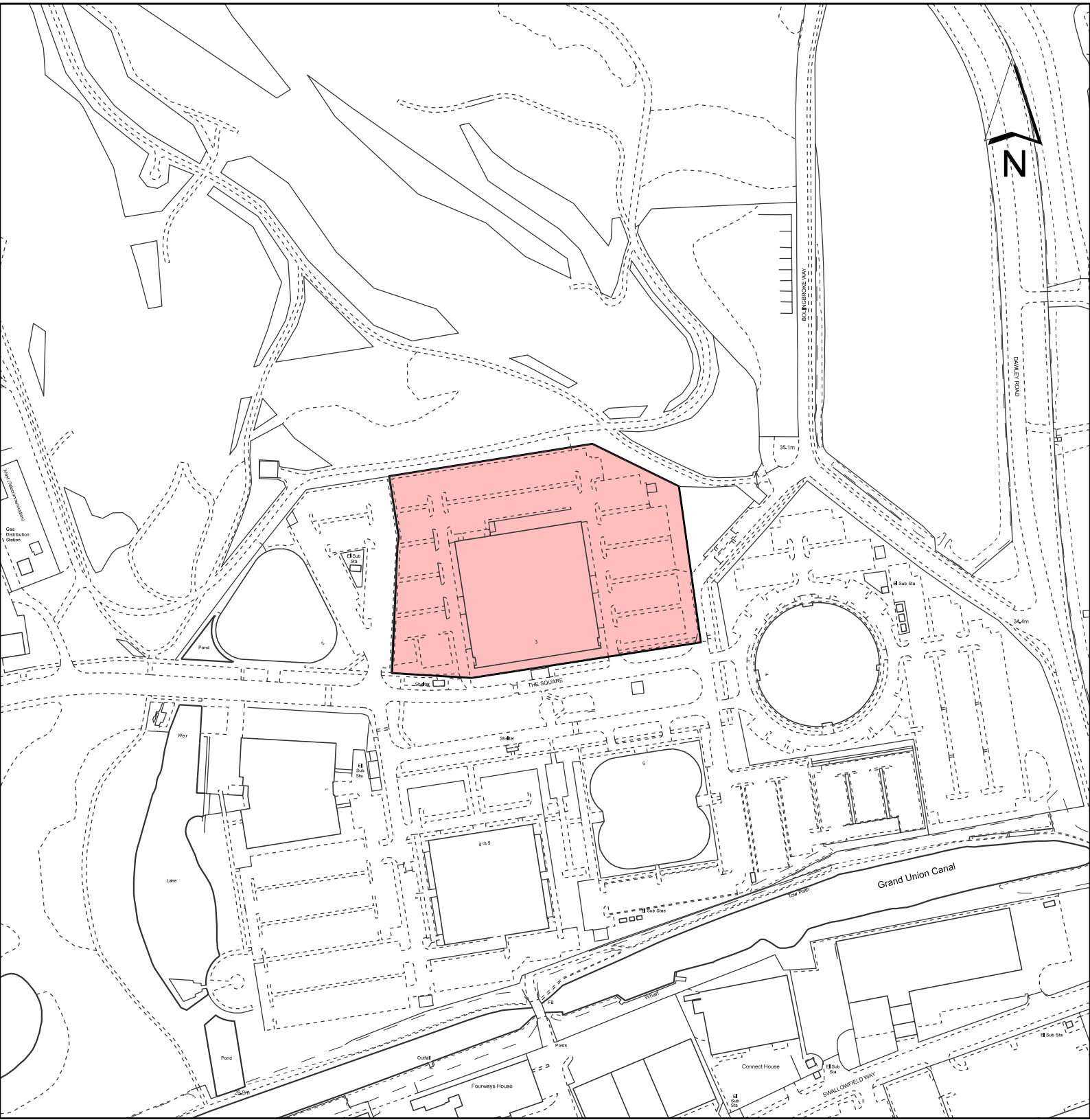




**hale**  
 ARCHITECTURE  
 235 Leadenhall Street, London, SE1 1SP

Project:  
 3 The Square, Stockley Park

Drawing Title:  
 Proposed General Arrangement  
 Sections XX and ZZ

Project No.	Scale @ A3/A4	Revision
21087	1:200/1:400	01
Drawing No.	21087-HALE-B1-XX-DD-R4-1031	



<b>KEY :</b>  <b>Site Boundary</b>	<b>ADDRESS :</b>  <p style="text-align: center;">3 The Square Furzegrund Way</p>		<p style="text-align: center;"><b>LONDON BOROUGH OF HILLINGDON</b>   <b>RESIDENTS SERVICES PLANNING SECTION</b></p>
<b>DISCLAIMER :</b> For identification purposes only This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright  © Crown copyright and database rights 2024 Ordnance Survey AC0000810857	<b>PLANNING APPLICATION REFERENCE :</b>  <p style="text-align: center;">57328/APP/2024/345</p>	<b>SCALE :</b>  <p style="text-align: center;">1:1,250</p>	<p style="text-align: center;"><b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b></p> <div style="text-align: center;">   <b>HILLINGDON</b>  <small>LONDON</small> </div>
	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b>  <p style="text-align: center;">05/11/2024</p>	

## **Report of the Head of Development Management and Building Control**

**Address:**

BARR LODGE 1-16

**Development:**

The replacement of existing windows and doors with new UPVC windows, fire rated windows and timber door

**LBH Ref Nos:**

38948/APP/2024/1666

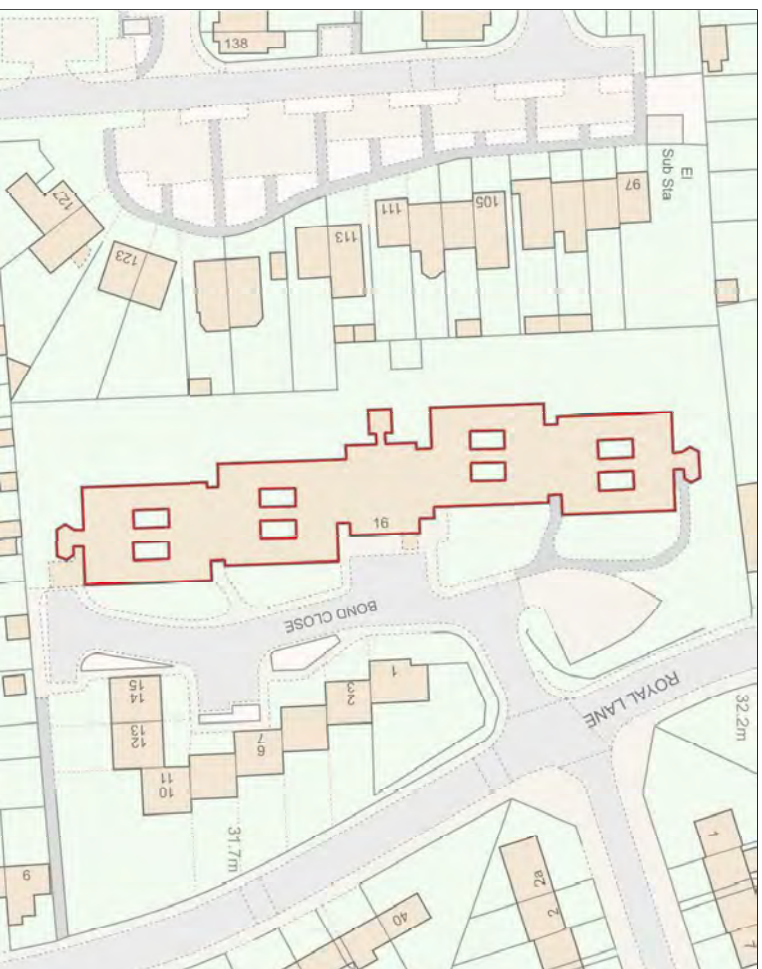


# Location Plan

Site Address: **Barr Lodge, 16, Bond Close, Viewsley, West Drayton, UB7 8DT**

Date Produced: **24-Jun-2024**

Scale: **1:1250 @A4**

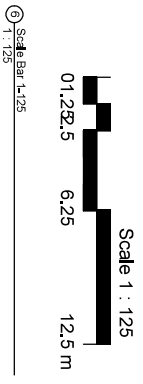
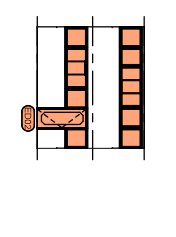
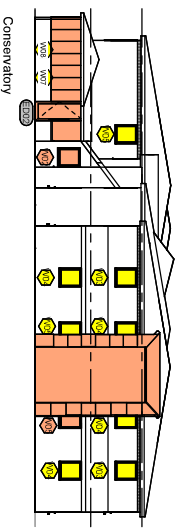
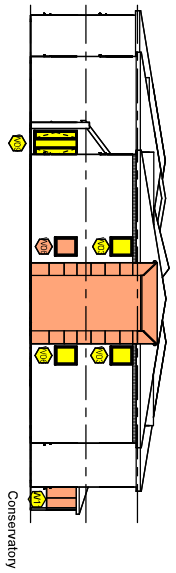
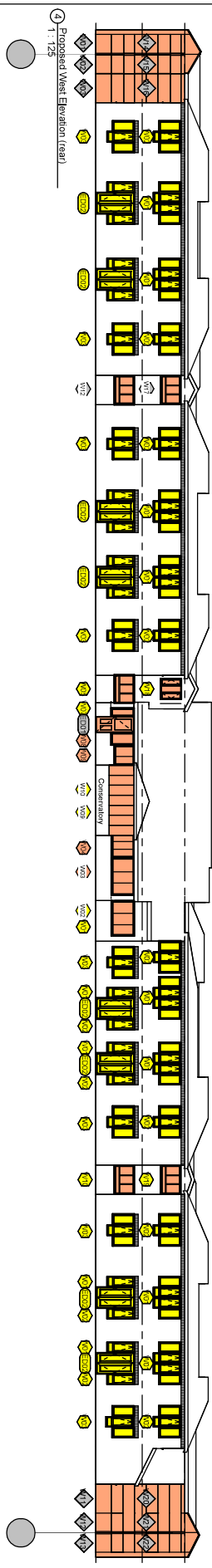
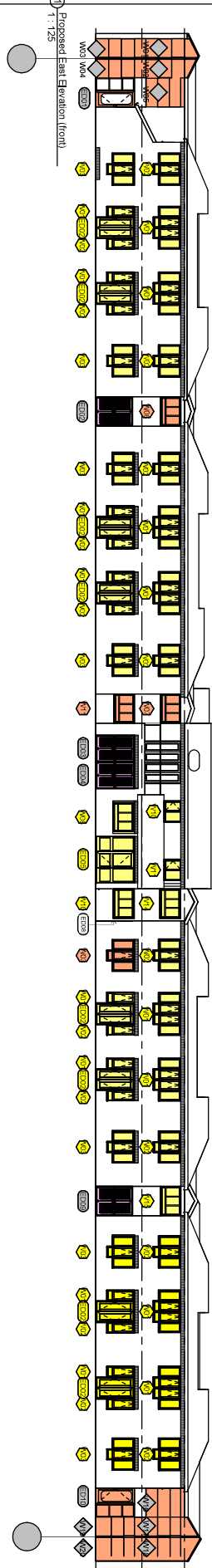


Planning Portal Reference: **PP-13181678v1**









**PROPOSED ACTIONS LEGEND**

- Repair in Anthracite Grey Colour, i.e. Door, Window, Panel below window/Fascia, Gutter, and Downpipe
- ◊ Replace with new UPVC Window / Door - Colour: Anthracite Grey
- ◊ Replace with Fire Rated Glazing - Colour: Anthracite Grey

**MATERIALS AND SPECIFICATION LEGEND**

- UPVC
- Fire Rated windows - corridor and escape routes (Fire doors not to be replaced)
- Aluminium Curtain Walling
- Timber Louvre Door

**Proposed Actions for the Windows and Doors**

1 : 125

**allen** **construction consultancy ltd**

Highgate House, Highgate Road, Shilly, Central London, NW6 7JH, England  
Tel: +44 (0)20 7437 2800  
Email: info@allen.co.uk

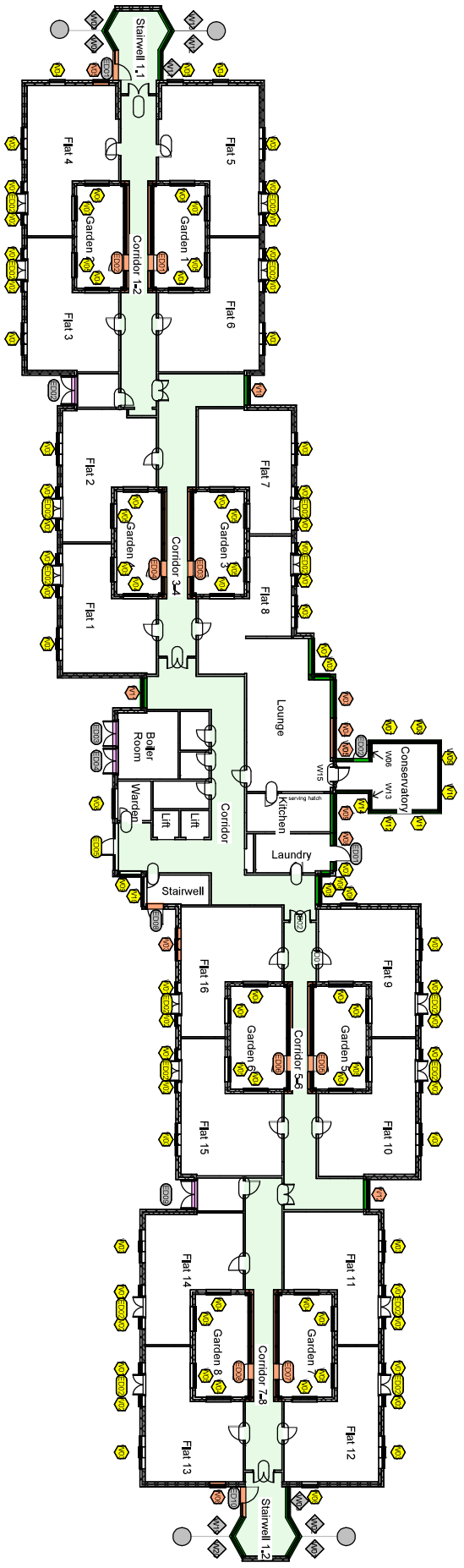
**HILLINGDON** LONDON

Project: LBH 16 Barr Lodge, Bond Close, Viewley, West Drayton, Middlesex, UB7 8DT

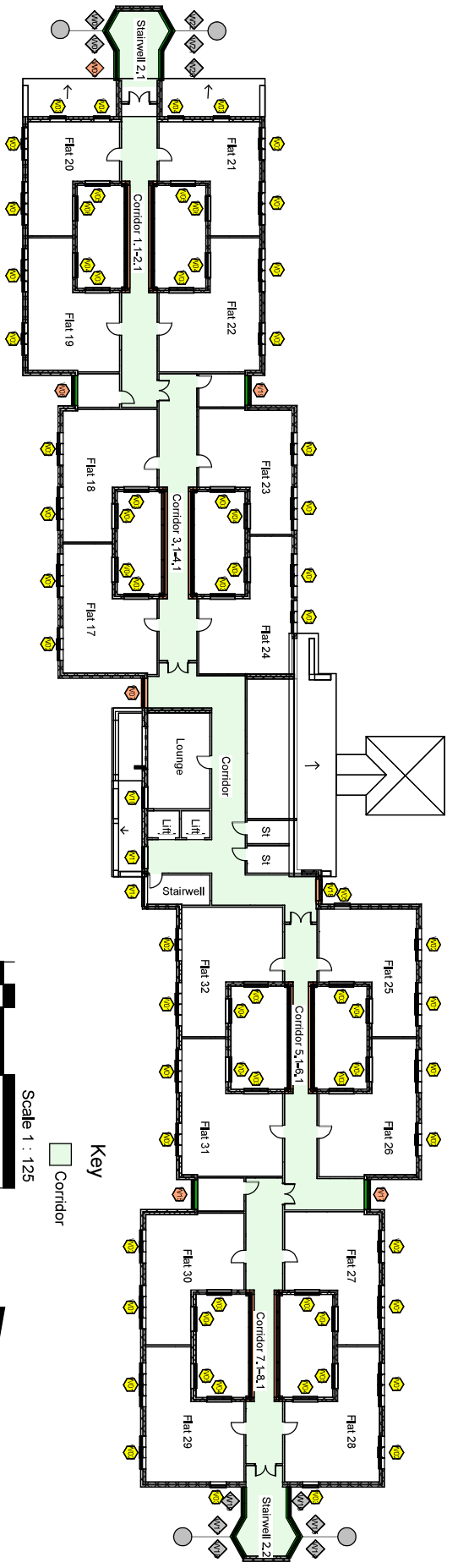
Sheet: PROPOSED ELEVATIONS - FOR PLANNING

Project No.	6439
Date	05/31/24
Drawn by	CM
Checked by	PC
Drawn	6556402024042504270

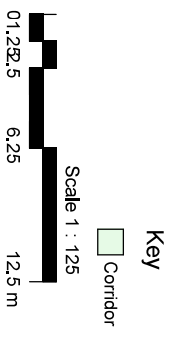
Scale: 1 : 125



① Proposed Ground Floor Plan  
1:125



② Proposed First Floor Plan  
1:125



- PROPOSED ACTIONS LEGEND**
- Repair in Anthracite Grey Colour: Lc, Door, Window, Panel below window/Fascia, Gutter; and Downpipe
  - ◻ Repace with Fire Rated Glazing - Colour: Anthracite Grey
  - ◻ UPVC
  - ◻ Fire Rated windows - corridor and escape routes (Fire doors not to be replaced)
  - ◻ Aluminium Curtain Walling
  - ◻ Timber Louvre Door
- MATERIALS AND SPECIFICATION LEGEND**
- Proposed Actions for the Windows and Doors
  - 1:125

Allen Construction Consistency Ltd  
144 Oxford Road, London, W1A 0LJ  
Tel: 020 7424 8800  
Email: info@allenconstruction.co.uk

**allen construction consistency ltd**  
Highgate House, Highgate Road, London, N6 6LA  
Tel: 020 7424 8800  
Email: info@allenconstruction.co.uk

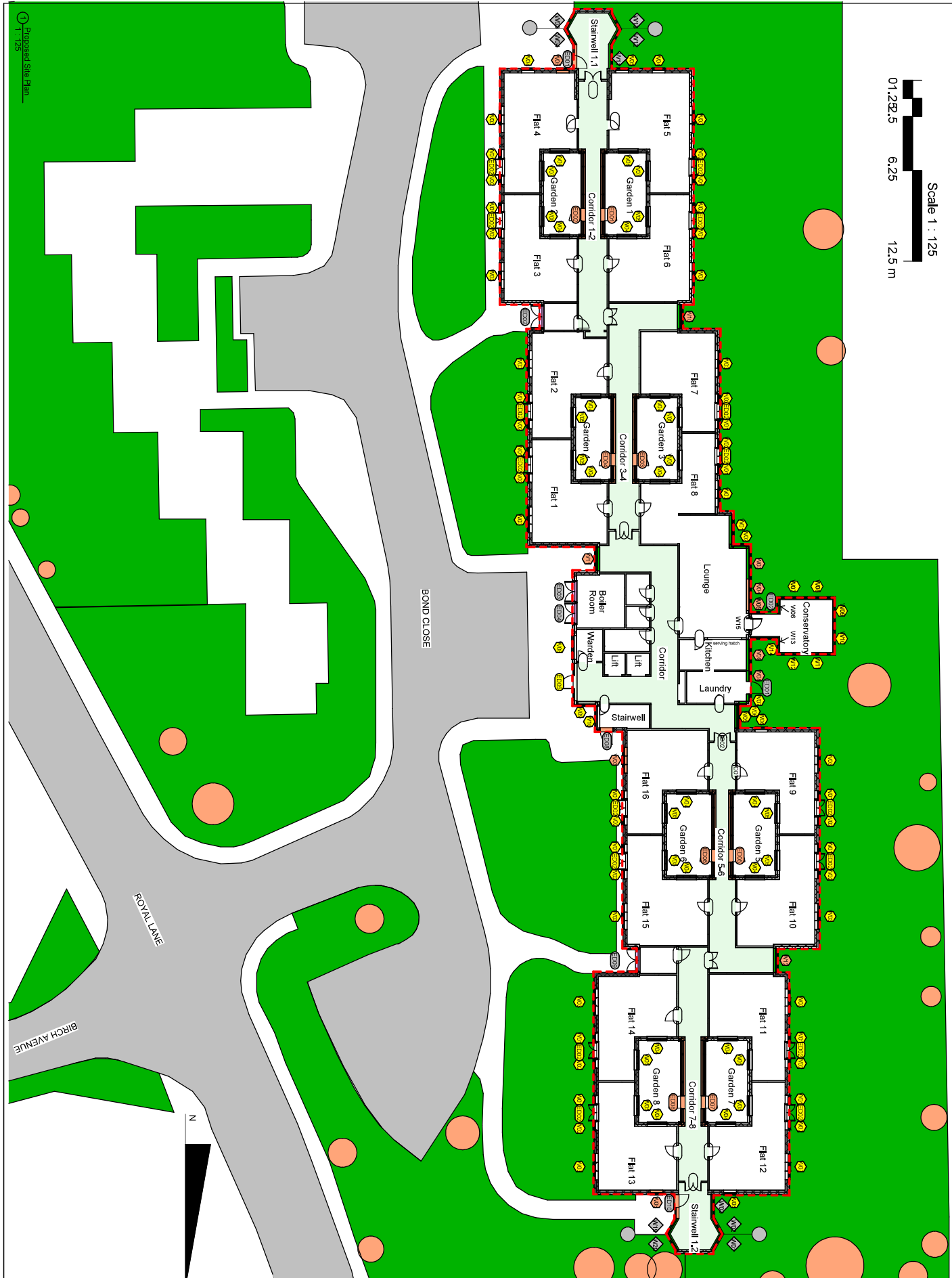
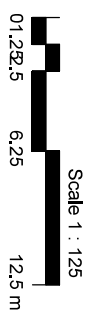
**HILLINGDON**  
LONDON

Project: LBH 16 Barr Lodge, Bond Close, Watlington, West Drayton, Middlesex, UB7 8DT

Sheet: PROPOSED FLOOR PLANS GF and FF FOR PLANNING

Project No: 6439  
Date: 05/03/24  
Drawn by: CN  
Checked by: PC  
Date: 05/03/24





- PROPOSED ACTIONS LEGEND**
- Repair in Anthracite Grey
  - ◆ Panel hole window Frame, Gutter, and Downpipe
  - Replace with new UPVC Window / Door - Colour: Anthracite Grey
  - Refurbish with Fire Rated Glazing - Colour: Anthracite Grey

- MATERIALS AND SPECIFICATION LEGEND**
- UPVC
  - Fire Rated windows - corridor and escape routes (Fire doors not to be replaced)
  - Aluminum Curtain Walling
  - Timber Louvre Door

Proposed Actions for the Windows and Doors

**HILLINGDON LONDON**

Project: LBH 16 Barr Lodge Bond Close, Uxbridge, West Drayton, Middlesex, UB7 8DT

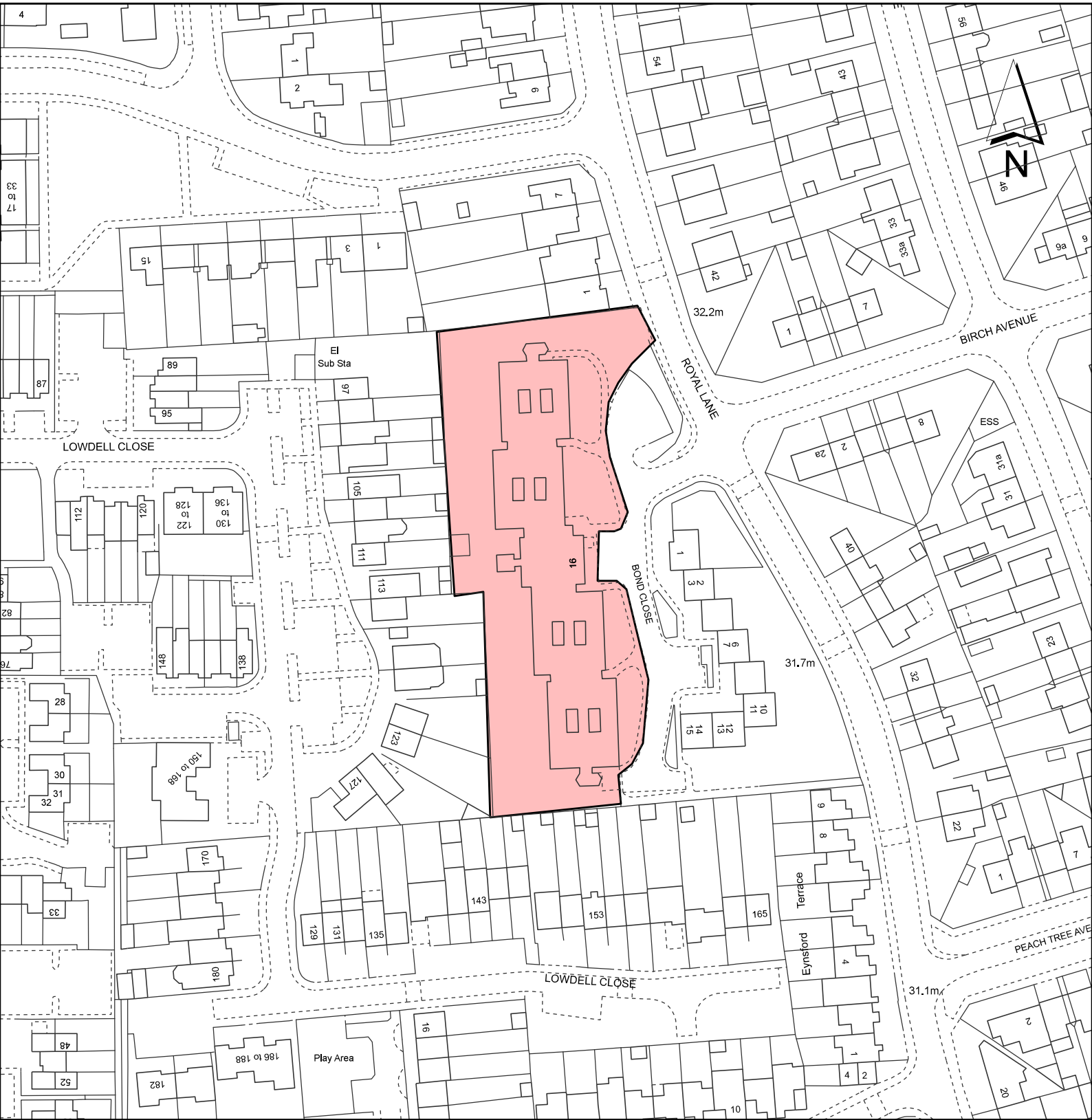
Sheet: PROPOSED SITE PLAN



Project No.	6439
Date	06/24/24
Drawn by	CN
Checked by	PC
Drawn	655640203X428464114
Drawn	1: 125

**allen construction consultancy ltd**

Highgate House, Highgate Road, Shilly, Sharnal, B90 2ND, Birmingham, B90 2ND

Tel: +44 (0)751 785 2800  
Email: info@allenconstruction.co.uk



<p><b>KEY :</b></p> <p> Site Boundary</p>	<p><b>ADDRESS :</b></p> <p>Barr Lodge 1-16</p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>RESIDENTS SERVICES</b></p> <p><b>PLANNING SECTION</b></p>
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<p><b>PLANNING COMMITTEE :</b></p>	<p><b>DATE :</b></p> <p>05/11/2024</p>		

**Report of the Head of Development Management and Building Control**

**Address:** 59 BONIFACE ROAD ICKENHAM

**Development:** Conversion of existing refuse storage area to provide disabled access to 1st floor flat with amendments to fenestration and provision of bin stores

**LBH Ref Nos:** 78960/APP/2024/2107





**NOTE:**

The contractor is responsible for all dimensions and levels which are to be taken from site at all times and if required agreed with the client or designer.

No responsibility will be held by the designer on failure of notification.

An Asbestos survey has not been carried out on this property, in the event of finding asbestos this must be treated with caution and tested and removed by a qualified person.

Please note that the contractor will be the principle designer and principle contractor on this contract for all CDM.

Any works undertaken on site prior to receiving Building Regulations Approval from the Local Authority are at clients own risk.

The contractor is responsible for any / all temporary works that may be required and the general safety and stability of the building during removal of existing works and installation of all new structural elements at all stages of the work in strict accordance with the latest Health and Safety at Work and CDM recommendations.

Any existing walls or structural elements to be removed must be done so / undertaken only after all necessary props / temporary supports / works required are in place. The removal of walls or beams must be undertaken with great care so as not to de stabilize or damage the existing structure at any time.

A party wall agreement may be required for some aspects of the work. We are not party wall surveyors and have not provided any information on this requirement. The client is advised to seek confirmation if one is required from a Party Wall Surveyor

**DO NOT SCALE FROM DRAWINGS EXCEPT FOR PLANNING PURPOSE.**

Client:

----

Site Address:  
**59 THE BUNTINGS**  
**BONIFACE ROAD**  
**UB10 8BY**

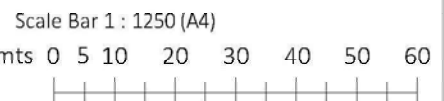
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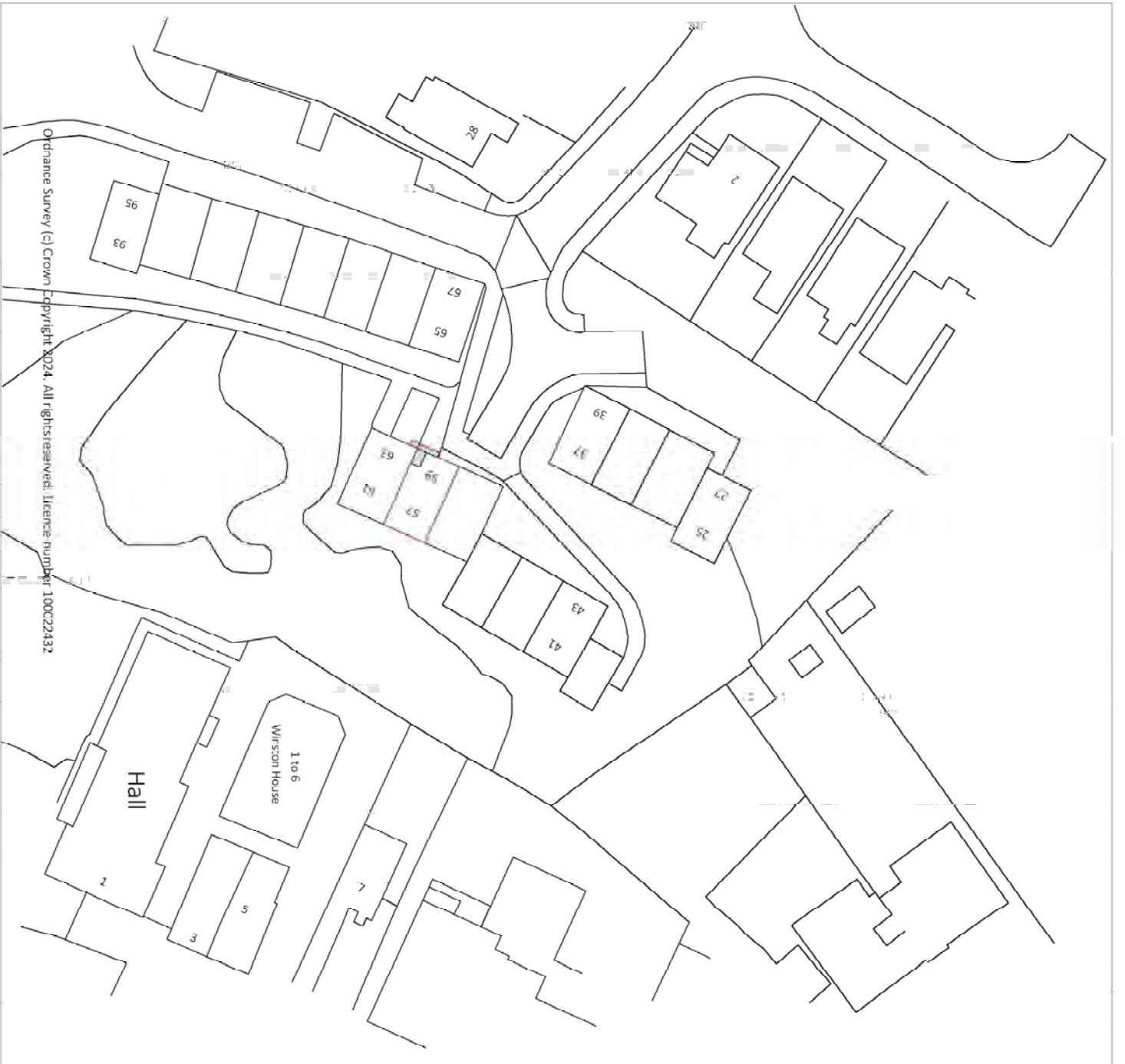
Dwg No: 002

Dwg Title: LOCATION PLAN

Proposed Project:

CONVERSION OF EXISTING REFUGE STORE TO PROVIDE NEW ACCESS TO PROPERTY.





**NOTE:**  
 The contractor is responsible for all dimensions and levels which are to be taken from site at all times and if required agreed with the client or designer.  
 No responsibility will be held by the designer on failure of notification.

An Accession survey has not been carried out on this property. In the event of finding asbestos this must be treated with caution and tested and removed by a qualified person.

Please note that the contractor will be the principle designer and principal contractor on this contract for all CDM.

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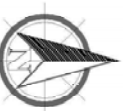
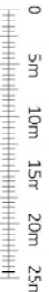
Client

Site Address  
 59 THE BUNTINGS  
 BONIFACE ROAD  
 UB10 8BY

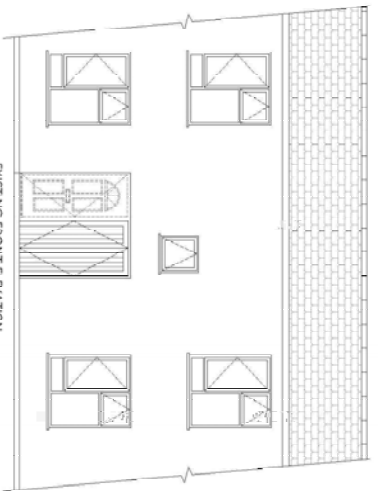
Draw Date: 07-06-2024  
 Draw No: 003

DWG Title: BLACK PLANS  
 Proposed Project  
 CONVERSION OF EXISTING REFUGEE STORE TO PROVIDE NEW ACCESS TO PROPERTY.

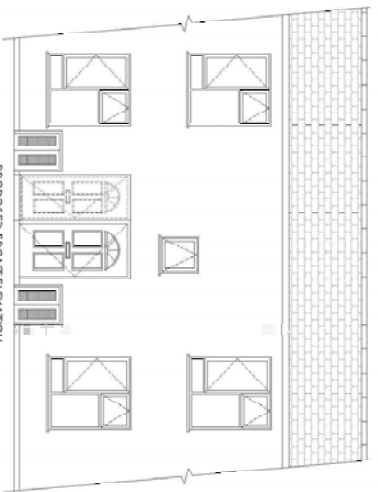
Scale Bar 1 : 500 (A3)



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EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

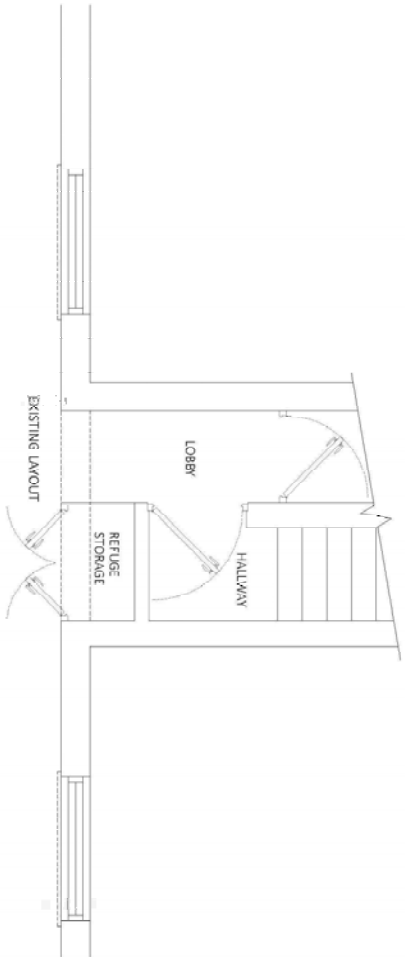
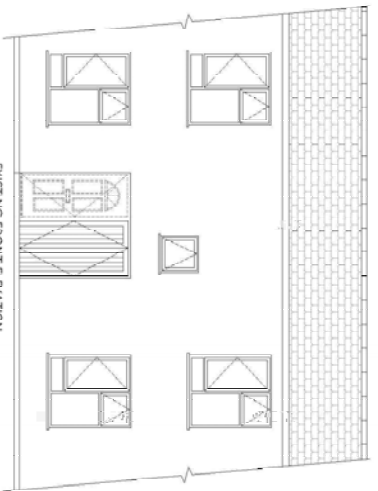
**NOTE:**  
The contractor is responsible for all dimensions and levels which are to be taken from site at all times and if required agreed with the client or Designer. No responsibility will be held by the designer on failure of notification.  
An Asbestos survey has not been carried out on this property. In the event of finding asbestos this must be treated with caution and tested and removed by a qualified person.

Please note that the contractor will be the principle designer and principle contractor on this contract for all CDM.  
Any works undertaken on site prior to receiving Building Regulations Approval from the Local Authority are at clients own risk.  
The contractor is responsible for any/all temporary works that may be required and the general safety and stability of the building during removal of existing works and installation of all new structural elements at all stages of the work in situ. Work and CDM compliance holds on any existing walls or structural elements which are removed must be done so/undertaken only after all necessary progs/Temporary supports / works required are in place. The removal of walls so deemed must be undertaken with great care so as not to damage or destabilise or damage the existing structure at any time.

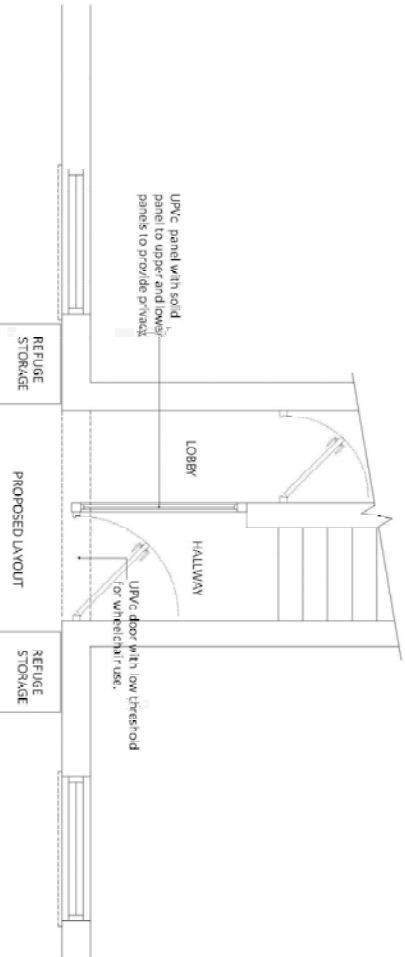
A party wall agreement may be required for some aspects of the work. We are not party wall surveyors and have not provided any information on this requirement. The client is advised to seek confirmation if one is required from a Party Wall Surveyor.  
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Drawing Reference: 301  
Site Address:  
59 THE BUNTINGS  
BONIFACE ROAD  
UB10 8BY  
Dwg Date: 07-06-2024  
Dwg Title: EXISTING & PROPOSED

Proposed Project:  
CONVERSION OF EXISTING REFUGE STORE TO PROVIDE NEW ACCESS TO PROPERTY

Scale Bar 1 : 100 (A3)  
0 1m 2m 3m 4m 5m



EXISTING LAYOUT





PROPOSED LAYOUT

UPVC panel with solid panel to upper and lower panes to provide privacy

UPVC door with low threshold for wheelchair use.



<p><b>KEY :</b></p> <p> Site Boundary</p>	<p><b>ADDRESS :</b></p> <p>59 Boniface Road, Ickenham</p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>RESIDENTS SERVICES PLANNING SECTION</b></p>
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<p><b>PLANNING COMMITTEE :</b></p>	<p><b>DATE :</b></p> <p>05/11/2024</p>		

**Report of the Head of Development Management and Building Control**

**Address:** HAREFIELD ACADEMY NORTHWOOD WAY HAREFIELD  
**Development:** Erection of a substation  
**LBH Ref Nos:** 17709/APP/2024/1802


Notes:

- Land Owned by Applicant
- Application Site

**RECORDING INFORMATION:**

The information regarding the Land Ownership by Applicant is based on 2D measured survey information received from the Existing Location Plan produced by MHSE Heritage.

Scale: 1 to 1250



**Amendments**

No.	Description	Date	Revised by
001	Finalisation	06/03/2024	ES

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Project Name  
The Herfield Academy - Substation

Drawn: CS  
Checked: GR  
Date Reference  
Planning Issue - Substation Site Location Plan

Scale: 1:1250 @ A1  
Project Issue Date: June 2024

Project	Originator	Volume	Level	Type	Role	Number
Z07/17 - NOV - V5 - 00 - DR - A - PL01						

Status	Issued by	Original Paper Size
PL	Issued for Planning	A2
Revision	Revision Description	Revision Date
P01	PLANNING SUBMISSION	Z07/17

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**1 Site Location Plan**

1 : 1250





Land Overlay - Adjacent

Application Site

Site Landscaping Development  
Planning PERMISSION  
No: 17709/AP/2023/2673

5.5.16.01 (a) - Development  
Planning PERMISSION  
No: 17709/AP/2023/2673

Development  
Planning PERMISSION No:  
17709/AP/2023/2673  
8th February 2024

Cable route/ access area  
to be kept clear of  
obstructions

Proposed GRP  
Enclosure  
Proposed footprint

FOR PERMISSION  
FOR RECORD ONLY - THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION  
RECORDED DRAWING  
This drawing is prepared for the Client's use only. It is not to be used for construction purposes without the written consent of the Architect.  
Scale: 1:1,200

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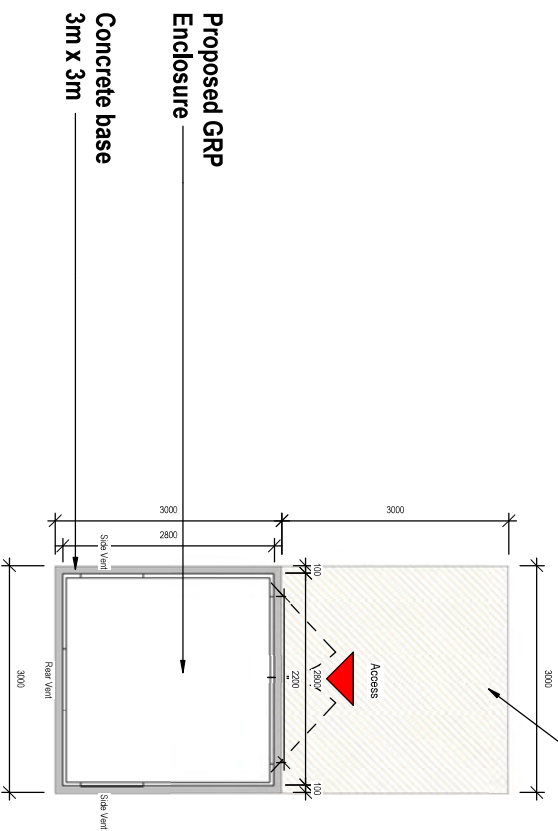
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Project Name: The Herald Academy - Substation  
Drawing Title: Planning Proposed Block Plan  
Drawing No: 2017-17-NOV-00-DR-A-PLUS  
Drawing Date: 2017-17-NOV-00-DR-A-PLUS  
Drawing Scale: 1:1,200  
Drawing Status: Based for Planning  
Drawing Author: NOVIJUN ARCHITECTS  
Drawing Checker: NOVIJUN ARCHITECTS  
Drawing Approver: NOVIJUN ARCHITECTS

**NOVIJUN ARCHITECTS**

Client: The Herald Academy - Substation  
Project Name: The Herald Academy - Substation  
Drawing Title: Planning Proposed Block Plan  
Drawing No: 2017-17-NOV-00-DR-A-PLUS  
Drawing Date: 2017-17-NOV-00-DR-A-PLUS  
Drawing Scale: 1:1,200  
Drawing Status: Based for Planning  
Drawing Author: NOVIJUN ARCHITECTS  
Drawing Checker: NOVIJUN ARCHITECTS  
Drawing Approver: NOVIJUN ARCHITECTS



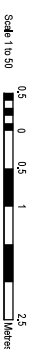
Cable route/ access area to be kept clear of obstructions



1 GRP Enclosure Plan View  
1 : 50

**GRP INFORMATION:**

GRP Housing Enclosure Emco TR7 or equivalent by SSEN Design standards



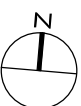
**Amendments**

No.	Description	Date	Issued By
002	Initial Issue	20/03/2024	CS
001	Initial Issue	20/03/2024	CS

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Project Name  
The Herefield Academy - Substation

Drawn: CS  
Checked: GR  
Date Reference  
Planning Issue - Substation Proposed plans

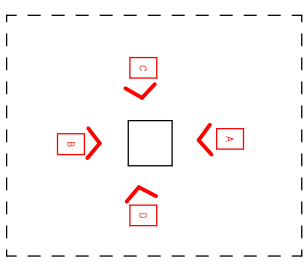
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Project Issue Date: June 2024

Project:	Originator:	Volume:	Level:	Type:	Role:	Number:
Z0717 - NOV - V5 - 00 - DR - A - PL04						

Status:	Issued For:	Original Paper Size:
PL	Issued for Planning	A1
Revision:	Revision Description:	Revision Date:
P02	PLANNING SUBMISSION	Z0717

Notes:

Key Plan



**Elevation Legend**

1. Standard GRP - Colour Green

**GRP INFORMATION:**

GRP Housing External Finish T11 or equivalent by SSEN Design standards

**GRP INFORMATION:**

The information regarding the Land Ownership by AssetSmart is based on 2019 measured survey information received from the Existing Location Plan produced by AHSE Hereford.



**Amendments**

No.	Description	Date	Issued by
002	Historical	29/03/2024	CS
001	Historical	28/03/2024	CS

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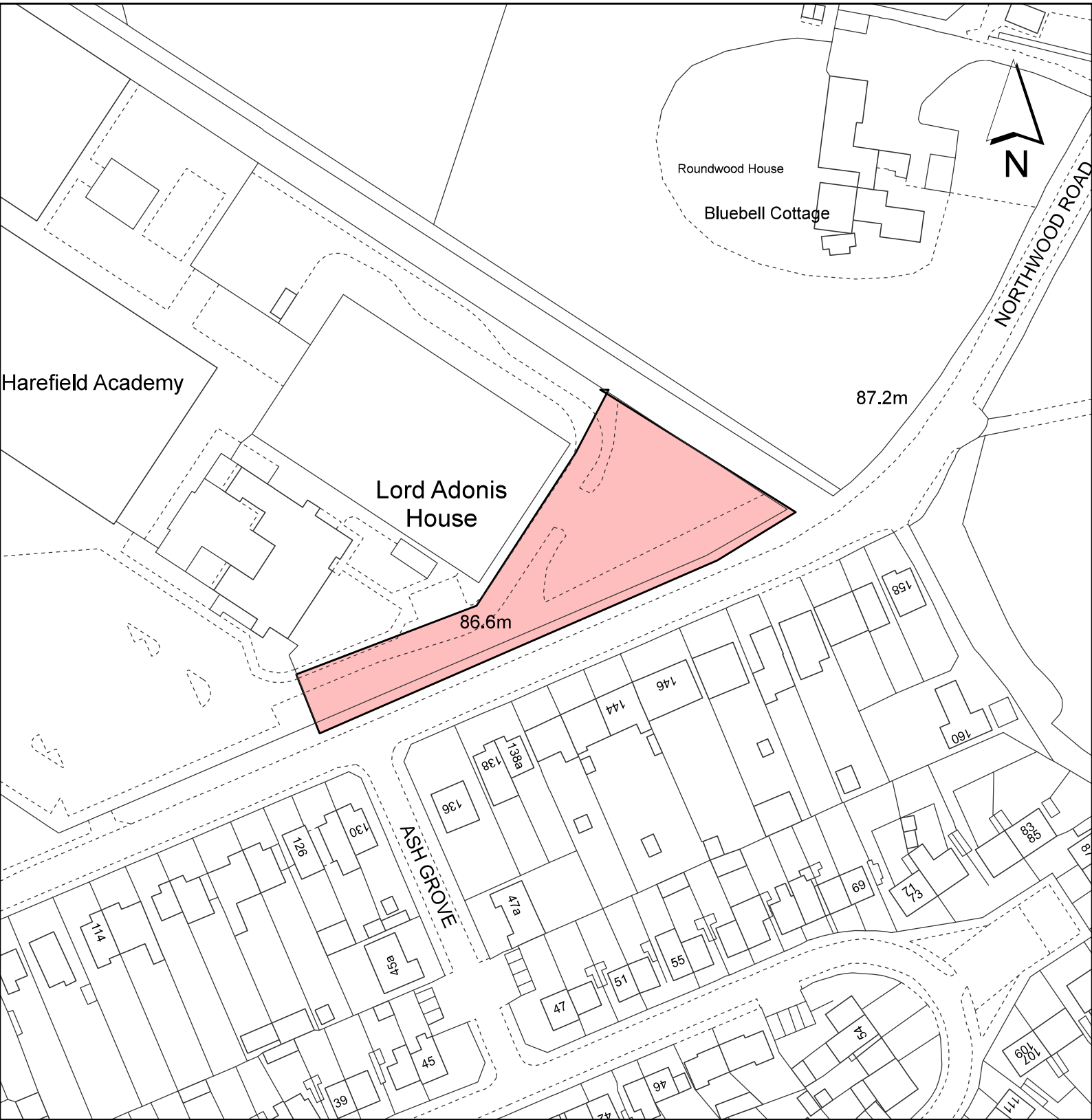
[www.noviun.com](http://www.noviun.com)



Project Name  
**The Herefield Academy - Substation**

Drawn: CS  
Checked: GR  
Date Referenced: As indicated @ A1  
Project Issue Date: June 2024  
**Planning Issue - Substation Proposed deviations**

Status	Issued for Planning	Original	Volume	Level	Type	Roll	Number
PL	Issued for Planning	Z0717 - NOV - V5 - XX - DR - A - PL05					

Revision	Revision Description	Original	Volume	Level	Type	Roll	Number
P02	PLANNING SUBMISSION	Z0717					



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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 05/11/2024	